

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:

online:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Subsurface drainage placement, Shoring installation and monitoring, Verify fill material and compaction, etc.

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Retaining wall construction, Reinforcing steel and concrete placement, etc.

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Moment Frame construction, Structural steel erection, field welds and bolting, etc.

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Glass unit masonry installation, Masonry unit strength, Wall panel and veneer installation, etc.

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, etc.

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Stucco installation, Expansion anchor installations, Infiltration System, etc.

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Metal joist / metal trusses, Post tension layout, Exterior cladding, etc.

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Air Leakage Testing, Whole house ventilation, Duct Leakage Testing, Energy Credit Information, Postconstruction Test, etc.

TO BE COMPLETED BY DSG

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household, Fire Alarm per NFPA 72, etc.

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required, etc.

DRAINAGE REQUIREMENTS: On site detention system required, Direct discharge into the lake, On site infiltration system required, etc.

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim.

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2, etc.

SURVEY REQUIREMENTS: Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered.

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS: Inspector shall initial and date appropriate inspection only if approved. Note: Items marked with an "A" require a separate permit. Inspections: Pre-construction Meeting to Review Conditions of Permit Approval, Tree protection, Erosion control, etc.

TO BE COMPLETED BY DSG

Final Inspection: Tree Restoration, Fire protection, including (but not limited to): Sprinkler, Access Road, Fire Code Alternatives (see below), etc.

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy.

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling.

IMPACT FEES: If applicable. Impact fees apply and are due prior to Final Inspection or on Date, whichever occurs first. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.

TO BE COMPLETED BY DSG

TO BE COMPLETED BY APPLICANT



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

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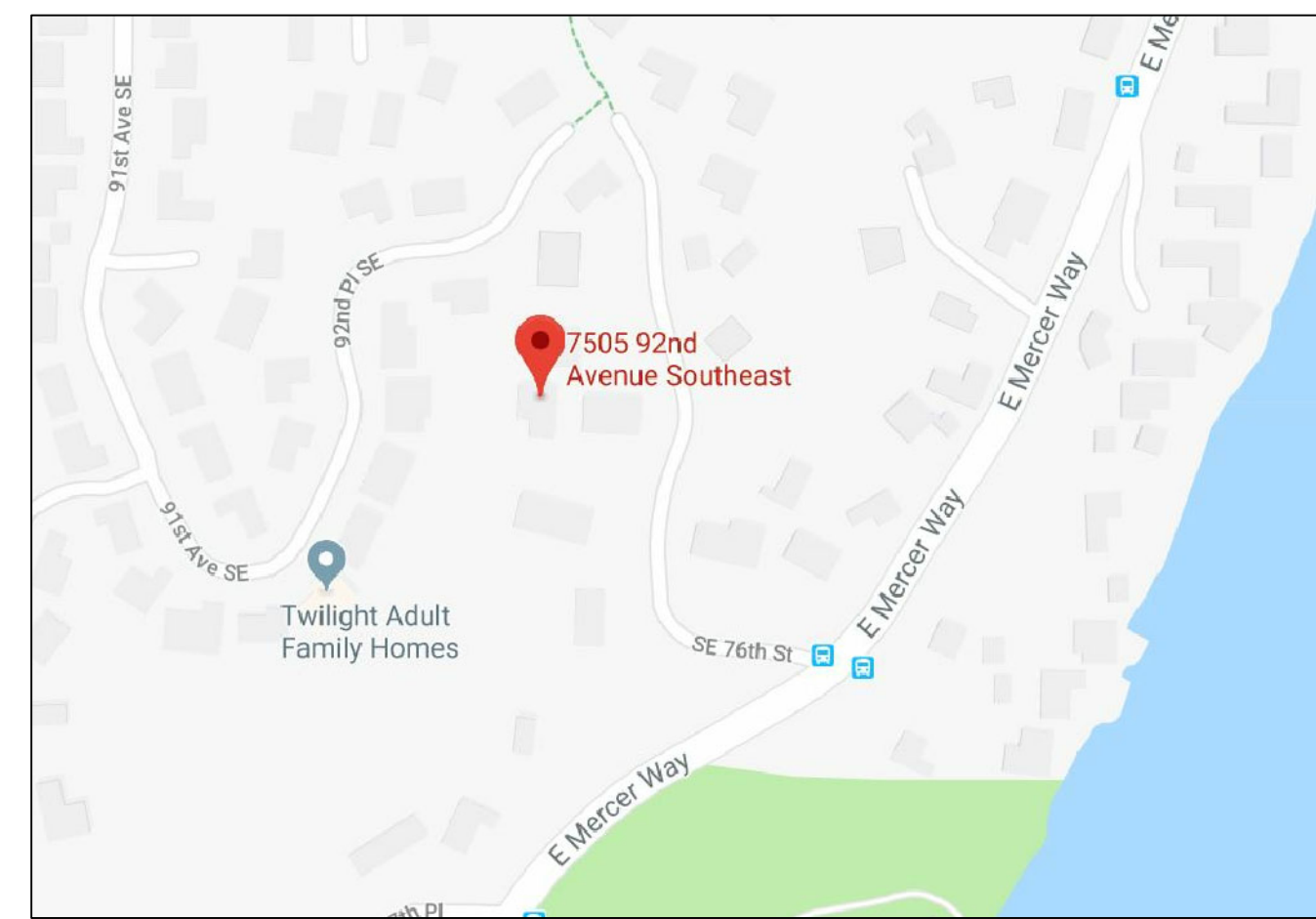
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ARCHITECT

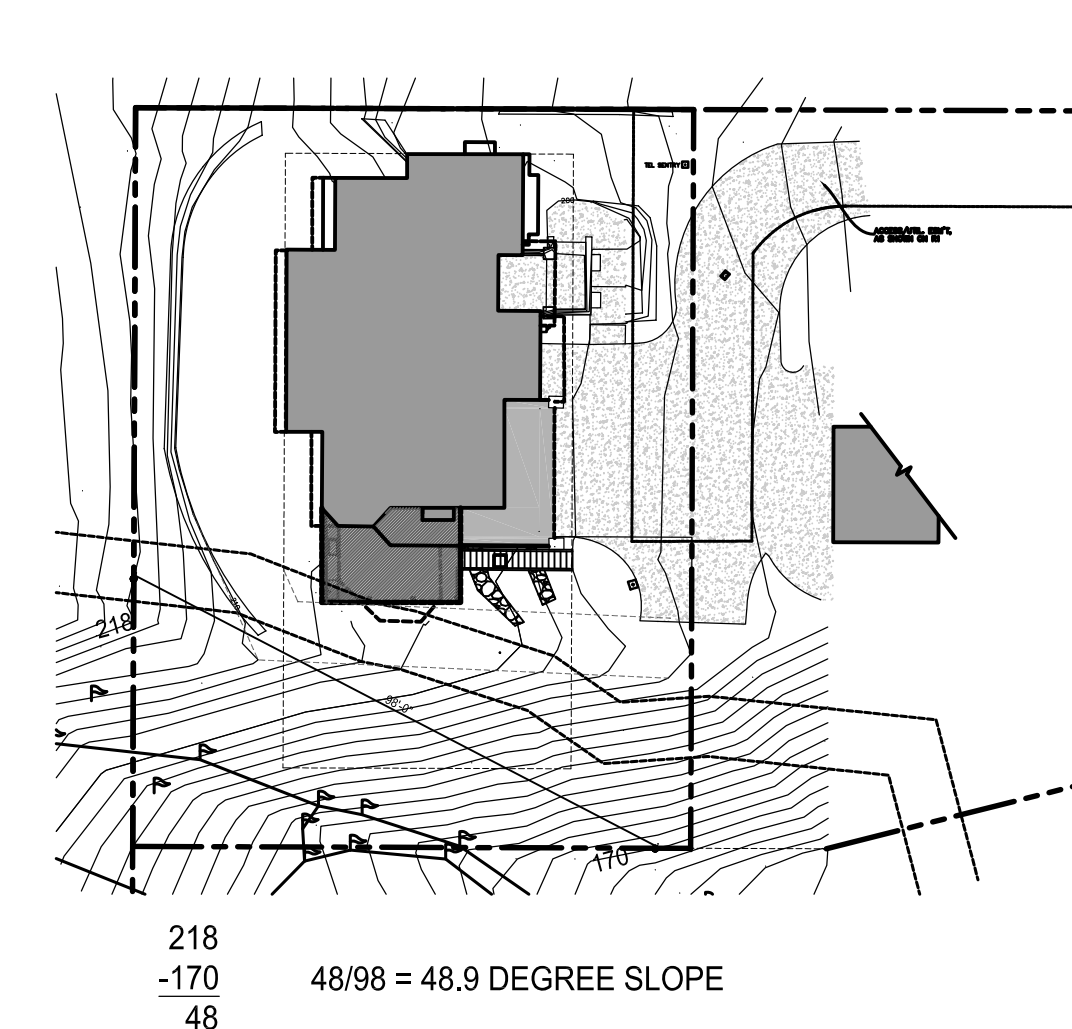
JOSH

JOSHUA BRINCKO
STATE OF WASHINGTON

PROJECT DATA	PROPERTY DATA	ENERGY DATA
<p>OWNER LAI JONATHAN@DCLMANAGEMENT.COM 7505 92ND AVE SE MERCER ISLAND, WA 98040</p> <p>ARCHITECT JOSH PS 5406 SW BEACH DRIVE TER SEATTLE, WA 98116 SDCI ID: AC58960 CONTACT: S. JOSHUA BRINCKO (206 708 9933) JOSH@JOSHARCH.COM</p> <p>STRUCTURAL ENGINEER SWENSON SAY FAGET 2124 3RD AVE #100 SEATTLE, WA 98121 CONTACT: KARL ROSMAN (206 443 6212) KROSMAN@SWENSONSAYFAGET.COM</p> <p>CONTRACTOR OWNER</p> <p>GEOTECHNICAL ENGINEER PANGELO 3213 EASTLAKE AVE E, SUITE B SEATTLE, WA 98102 CONTACT: SIEW L. TAN, P.E. (206 262 0370)</p>	<p>PROJECT ADDRESS 7505 92ND AVE SE MERCER ISLAND, WA 98040</p> <p>ZONING DESIGNATION R-9.6</p> <p>19.02.020.E HEIGHT LIMIT 30' FROM AVERAGE GRADE TO HIGHEST POINT OF ROOF (5' BONUS FOR CHIMNEYS ETC.)</p> <p>*FENCES MAX 72" HIGH (50" LATTICE ALLOWED UP TO 90")</p> <p>SETBACKS FRONT: 20' NORTH SIDE: 7.5' SOUTH SIDE: 13.43' REAR: 25'</p> <p>LOT AREA 11447 SF</p> <p>ASSESSOR'S TAX NUMBER 257950-0188</p> <p>LEGAL DESCRIPTION FLOODS LAKE SIDE TRS LOT 11 MERCER ISLAND SHORT PLAT NO 95-0521 REC NO 9602019001 SD SHORT PLAT DAF - POR OF LOT 2 BLK 5 OF FLOODS LAKE SIDE TRS - AKA LOT 4 OF THE SULLIVAN SEGREGATION APPROVED SUBD 03-22-83 OF CITY OF MERCER ISLAND REC NO 8903100404 PLAT BLOCK: 5 PLAT LOT: 2</p>	<p>PRESCRIPTIVE OPTION (ENERGY CREDIT 1A)</p> <p>INSULATION VALUES SLAB PERIMETER (FIRST 24") R-10 BELOW GRADE WALLS (EXTERIOR) R-10 BELOW GRADE WALLS (INTERIOR) R-21 ABOVE GRADE WALLS R-21 FLOORS R-30 ATTICS W/ 1" CLEAR VENT SPACE R-49 ADV FRAMED ATTICS W/ 1" CLEAR VAULTED JOISTS/RAFTERS R-38</p> <p>FENESTRATION OVERHEAD GLAZING U-0.28 U-0.50</p> <p>*ALL NEW FENESTRATION TO BE NFRC CERTIFIED</p>



1 VICINITY MAP
NOT TO SCALE



3 SLOPE DIAGRAM/CALC
SCALE: 1/32" = 1'-0"

TABLE OF CONTENTS	CONSTRUCTION DATA	VENTILATION DATA
<p>SHT DESCRIPTION</p> <p>A1.0 SITE PLAN + PROJECT INFORMATION</p> <p>A1.1 GENERAL NOTES</p> <p>A1.2 TESC</p> <p>A2.0 FLOOR PLAN</p> <p>A3.0 ELEVATIONS</p> <p>A8.0 DETAILS</p> <p>S1.0-1 STRUCT GENERAL NOTES</p> <p>SSK FOUNDATION PLAN AND ROOF FRAMING</p>	<p>SCOPE OF WORK REPLACE EXISTING DECK WITH PAVERS; ADD PATIO AND EXTERIOR KITCHENETTE</p> <p>AREA SUMMARY</p> <p>19.02.020.D.1.b MAX GROSS FLOOR AREA (40%) 11,447 = 4578.8 SF MAX ALLOWED = 4,790 SF EXISTING *STAIRCASE FROM FLOOR ONE TO TWO IS ONLY COUNTED ONCE</p> <p>CONDITIONED SPACE LOWER LEVEL 660 SQ FT MAIN LEVEL 1940 SQ FT UPPER LEVEL 1560 SQ FT TOTAL 4160 SQ FT</p> <p>UNCONDITIONED SPACE LOWER LEVEL 630 SQ FT TOTAL 630 SQ FT</p> <p>LOT COVERAGE</p> <p>RESIDENCE 2326 SQ FT (E) DECK AREA (UNCOVERED) 247 SQ FT (P) PORCH & STAIR 393.3 SQ FT ATTACHED GARAGE 340 SQ FT TOTAL 3306.3 SQ FT</p> <p>LOT AREA 11447 SQ FT</p> <p>19.02.020.F.3.a COVERAGE CALC: FOR LOTS SLOPED 30-50%, MAX 30% LOT COVERAGE (INCLUDING HOUSE, DRIVEWAY, ACCESSORY BUILDINGS) SEE DIAGRAM</p> <p>ALLOWABLE COVERAGE (CALC) 3,434.1 SF ALLOWABLE BUILDING PAD (SHRT PLAT) 3470 SF PROPOSED COVERAGE 3306.3 SQ FT</p> <p>NET LOT AREA: 11,447-390.3 ACCESS EASEMENT = 11,056.7 SF</p> <p>19.02.020.F.3.b.i MAX HARDSCAPE AREA: 9% (11,056.7 NET LOT AREA) = 995.1 SF ALLOWED EXISTING (INCLUDING DECKS, GRAVEL, WALKS, PATIOS - NOT BUILDINGS OR DRIVING SURFACES)</p> <p>(E) DECK 247 SQ FT (E) PATIO @ ENTRY 70 SQ FT (E) WALKWAYS, STAIRS & LANDINGS 293 SQ FT (P) STAIR 65.3 SQ FT (E) ROCKERIES 42.8 SQ FT (E) RETAINING WALL 180.6 SQ FT TOTAL 898.7 SQ FT</p> <p>SOFTSCAPE AND DRIVEWAY DRIVE = 1020.2 SQ FT</p> <p>19.02.020.F.3.c LANDSCAPE AREA: MIN 70% (11447) = 8,012.9 SF MIN</p> <p>EXISTING LANDSCAPE = 11,447 SF LOT AREA - 3,867.2 SF COVERAGE = 7579.8 SF (INCLUDES SOFTSCAPE AND HARDSCAPE - NOT INCLUDING DRIVEWAYS)</p> <p>19.02.020.G PARKING REQUIREMENTS: 3 REQUIRED (MIN 2 COVERED) 3 COVERED EXISTING</p> <p>MAX ACCESSORY AREA: MAX 25% OF GROSS FLOOR AREA 25%(4578.8) = 1144.7 SF INCLUDES SOFTSCAPE AND HARDSCAPE - NOT INCLUDING DRIVEWAYS (MAX 17' HIGH ABOVE AVERAGE GRADE)</p>	<p>SYSTEM DESIGN THIS SYSTEM IS DESIGN/BUILD (IRC CH. 15)</p> <p>SYSTEM CRITERIA</p> <p>MINIMUM OF .35 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. MAXIMUM OF .50 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS.</p> <p>SYSTEM COMPONENTS</p> <p>TIMER INTAKE GRILL & DUCTING (FROM EXTERIOR) MOTORIZED DAMPER ELECTRIC AIR TEMPERING UNIT INTAKE BLOWER DISTRIBUTION DUCTING (HABITABLE ROOMS) DISTRIBUTION GRILLS (HABITABLE ROOMS) ELECTRIC EXHAUST FAN EXHAUST DUCTING EXHAUST PORT WITH BACK DRAFT DAMPER</p> <p>SYSTEM FUNCTION</p> <p>INTAKE BLOWER, AIR TEMPERING UNIT, AND EXHAUST FAN TO BE CONNECTED TO TIMER FOR SYNCHRONIZED, INTERMITTENT USE THROUGHOUT EACH DAY. FRESH AIR FROM THE EXTERIOR IS PULLED THROUGH AIR TEMPERING UNIT, THEN DISTRIBUTED THROUGH DUCTING TO ALL HABITABLE ROOMS. A BALANCED QUANTITY OF AIR IS SIMULTANEOUSLY EVACUATED FROM THE INTERIOR W/ THE EXHAUST FAN DUCTED TO EXT</p>

19.02.020.C.1.c.i (b)
17% OF 123.09' WIDTH = 20.93' MIN TOTAL OF SIDE YARDS

19.02.020.C.1.c.ii (a), (2) 7.5' MIN SIDE

NO BUFFERS REQUIRED IN GEOLOGIC HAZARD ZONE, BUT PROFESSIONAL REVIEW REQUIRED

PROPERTY OWNER MUST SIGN AND NOTARIZE A HOLD HARMLESS AGREEMENT PER MERCER ISLAND CITY CODE 19.01.060 FOR GEOLOGIC HAZARD AREA

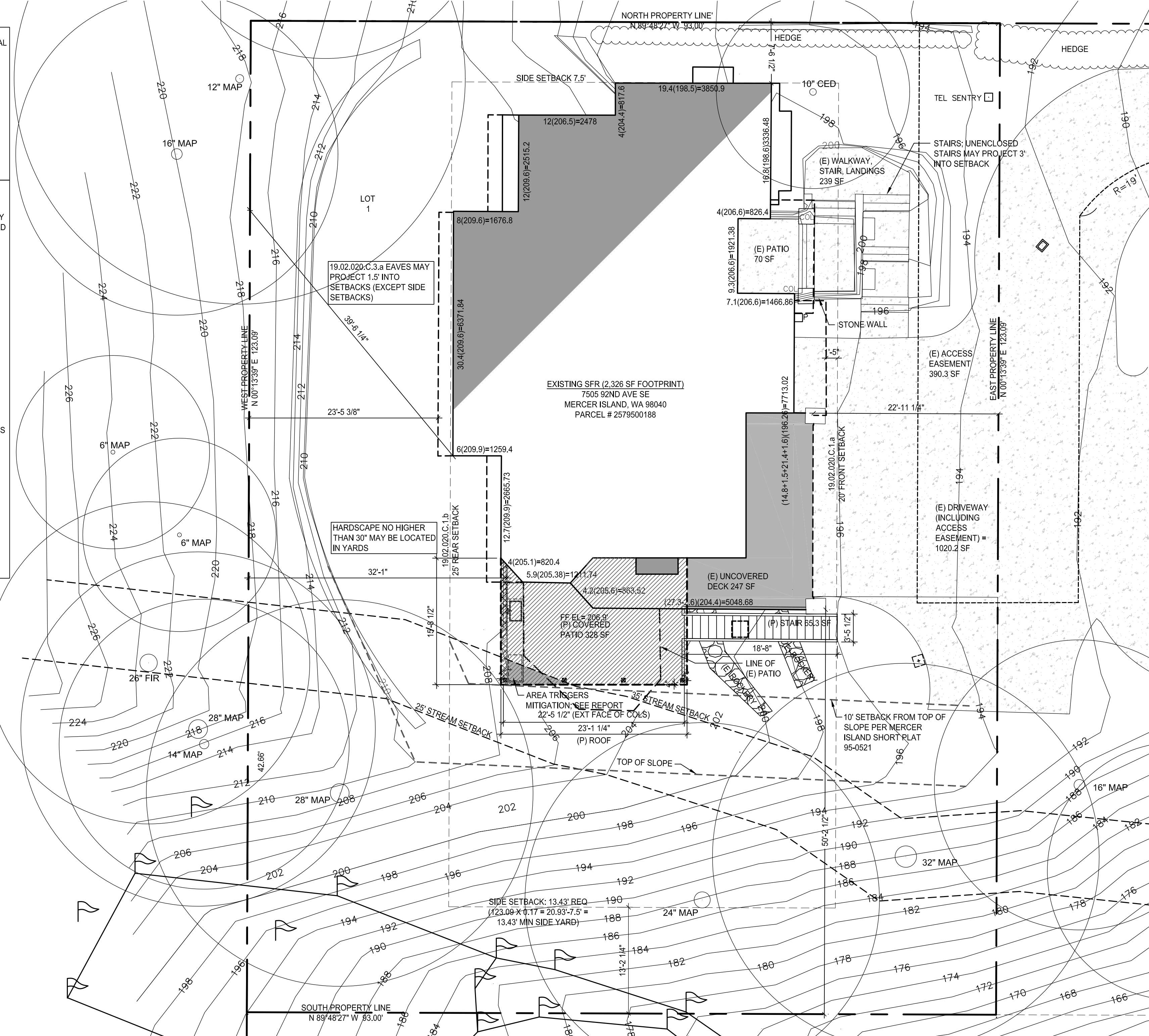
SEE GEOTECHNICAL REPORT FOR STATEMENT OF RISK

SEPA REVIEW NOT REQ SINCE ONLY 5 CUBIC YARDS OF CUT AND FILL AND WORK OUTSIDE WATERCOURSE

ARBORIST REPORT NOT REQ SINCE DEVELOPMENT HAS NO IMPACT ON TREES OR ROOT ZONE

THERE ARE NO LAND USE APPLICATIONS ASSOCIATED WITH THE PROJECT OTHER THAN A CRITICAL AREA DETERMINATION THAT IS BEING PROCESSED CONCURRENTLY

MERCER ISLAND SHORT PLAT 95-0521 IS APPLICABLE TO THE PROPOSED PROJECT (KING COUNTY RECORDING #9602019001)



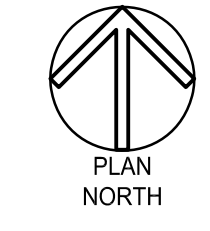
2 SITE PLAN (TO BE VERIFIED IN FIELD)
SCALE: 1/8" = 1'-0"

DESIGN	SJB
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SITE PLAN
PROJECT INFORMATION



A1.0

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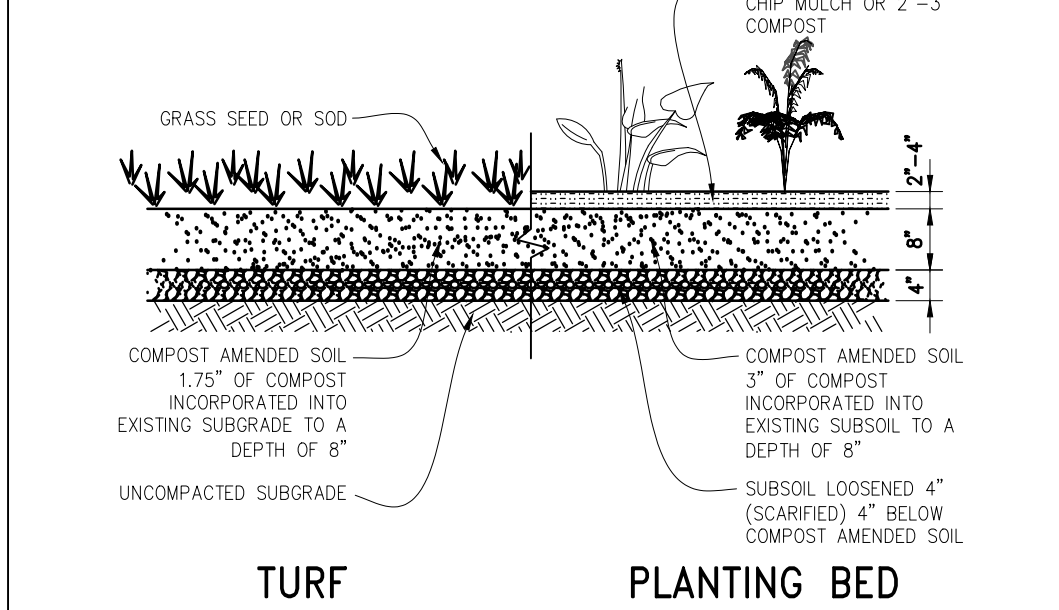
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CSC

A1.2

CONSTRUCTION STORMWATER CONTROL STANDARD DETAILS

SOIL AMENDMENT

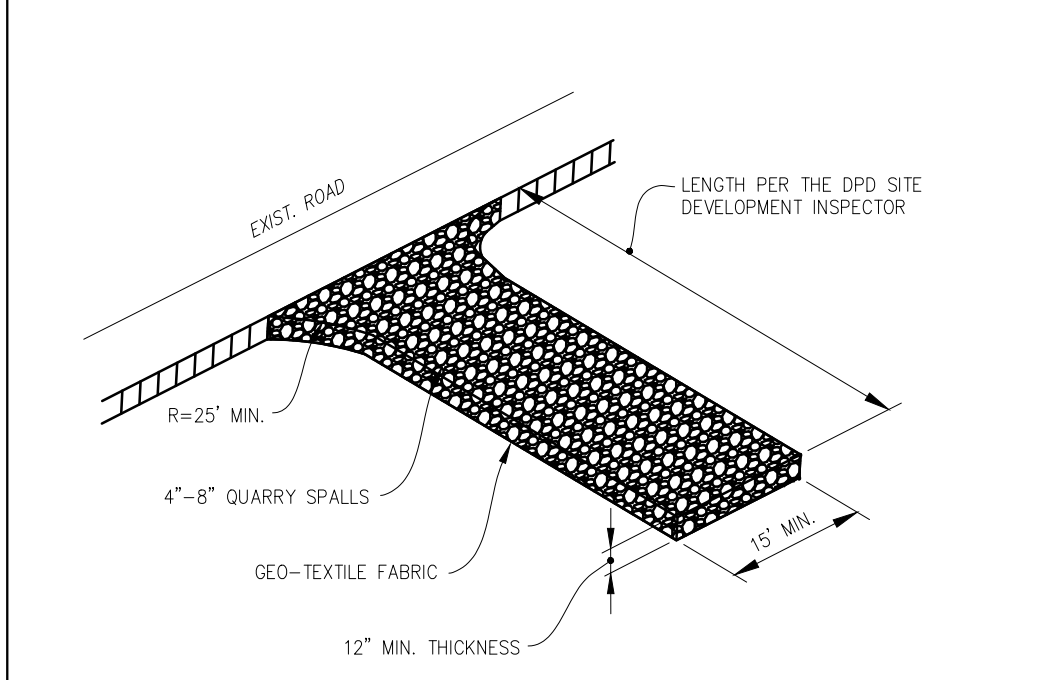


TURF **PLANTING BED**

NOTES:
1. POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
2. SOIL AMENDMENT CALCULATIONS SHALL BE SHOWN ON THE POST-CONSTRUCTION SOIL AMENDMENT PLAN SHEET.
3. SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.

SYMBOL: (1) (2) AND/OR (3)

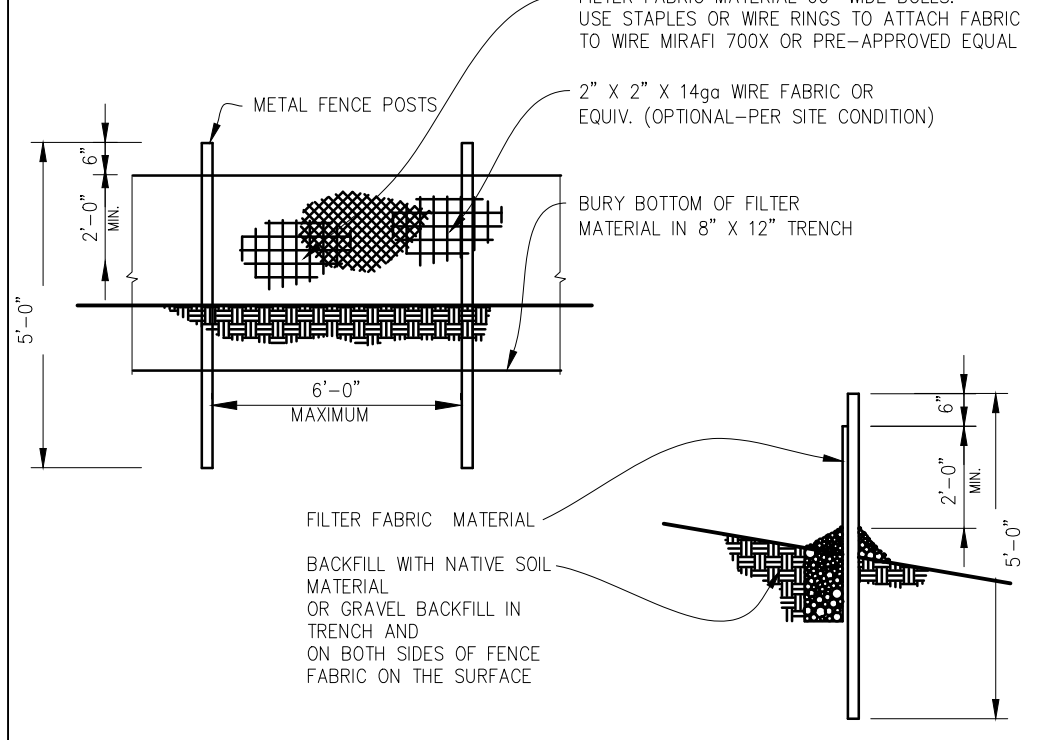
STABILIZED CONSTRUCTION ACCESS



STABILIZED ACCESS SHALL BE USED IN ALL AREAS OF THE SITE WITH VEHICLE TRAFFIC AND PARKING, INCLUDING PLANTING STRIPS.

SYMBOL: (4)

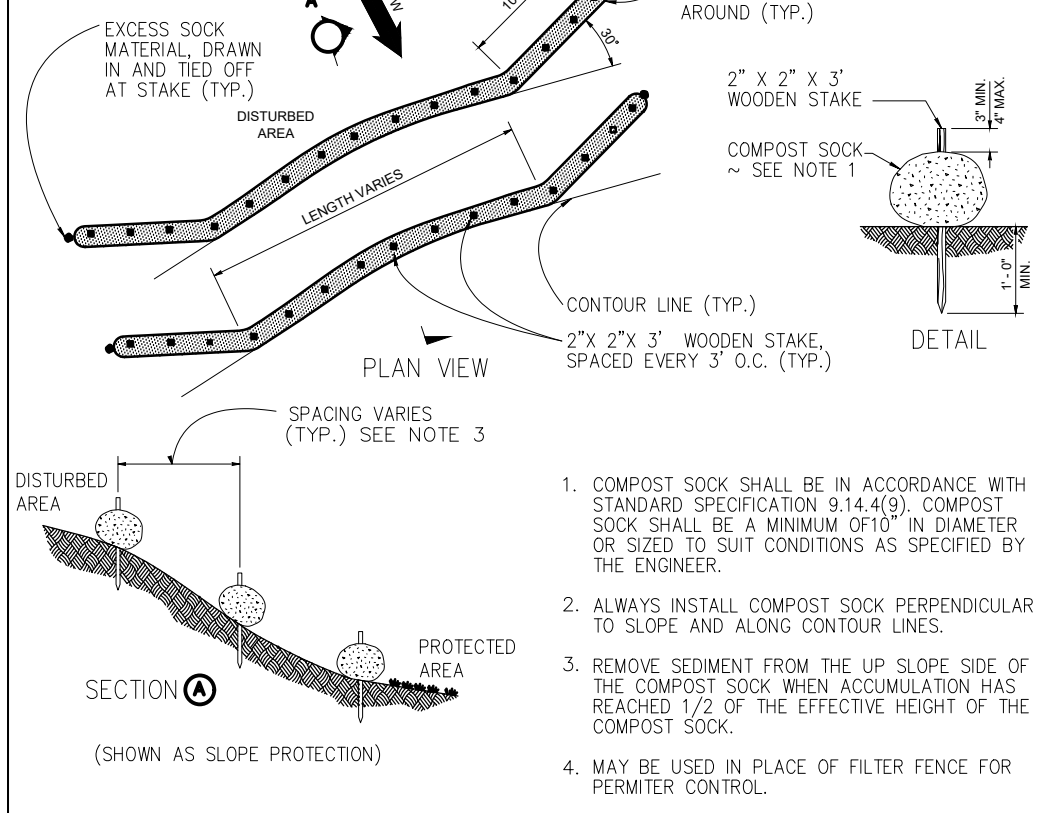
FILTER FENCE



NOTE: ANGLE SILT FENCE BACK UP THE SLOPE AT THE END OF RUN.

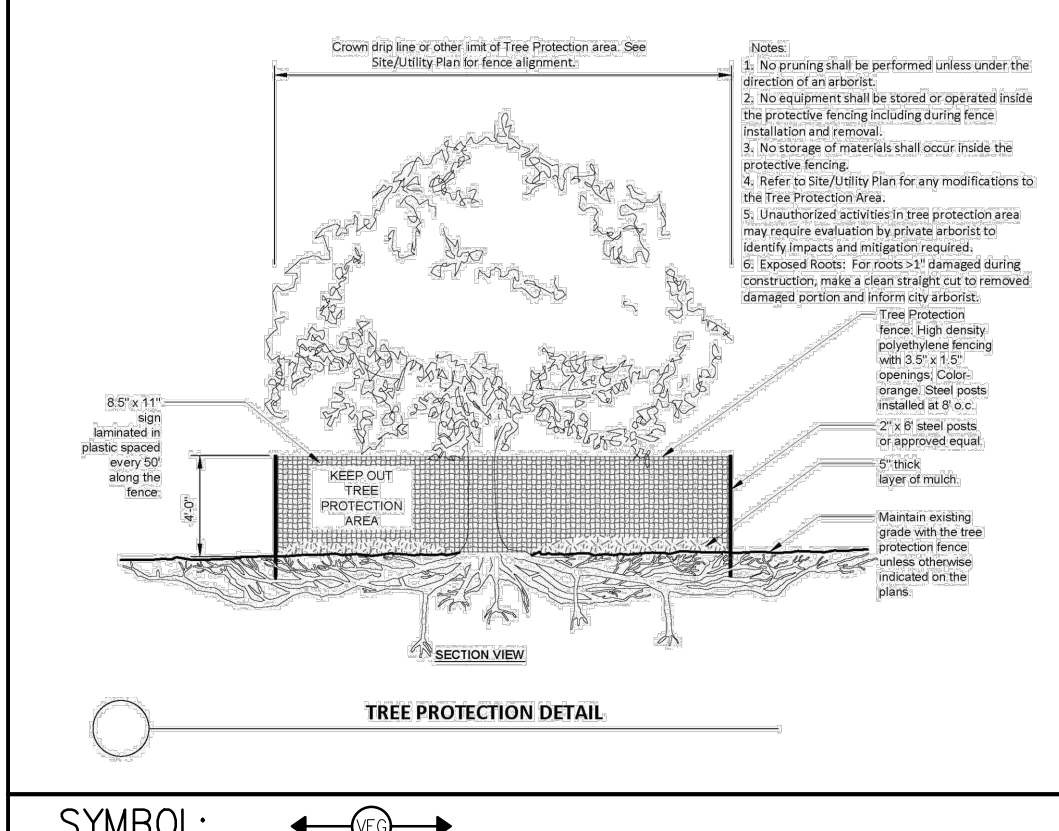
SYMBOL: (5)

COMPOST SOCK

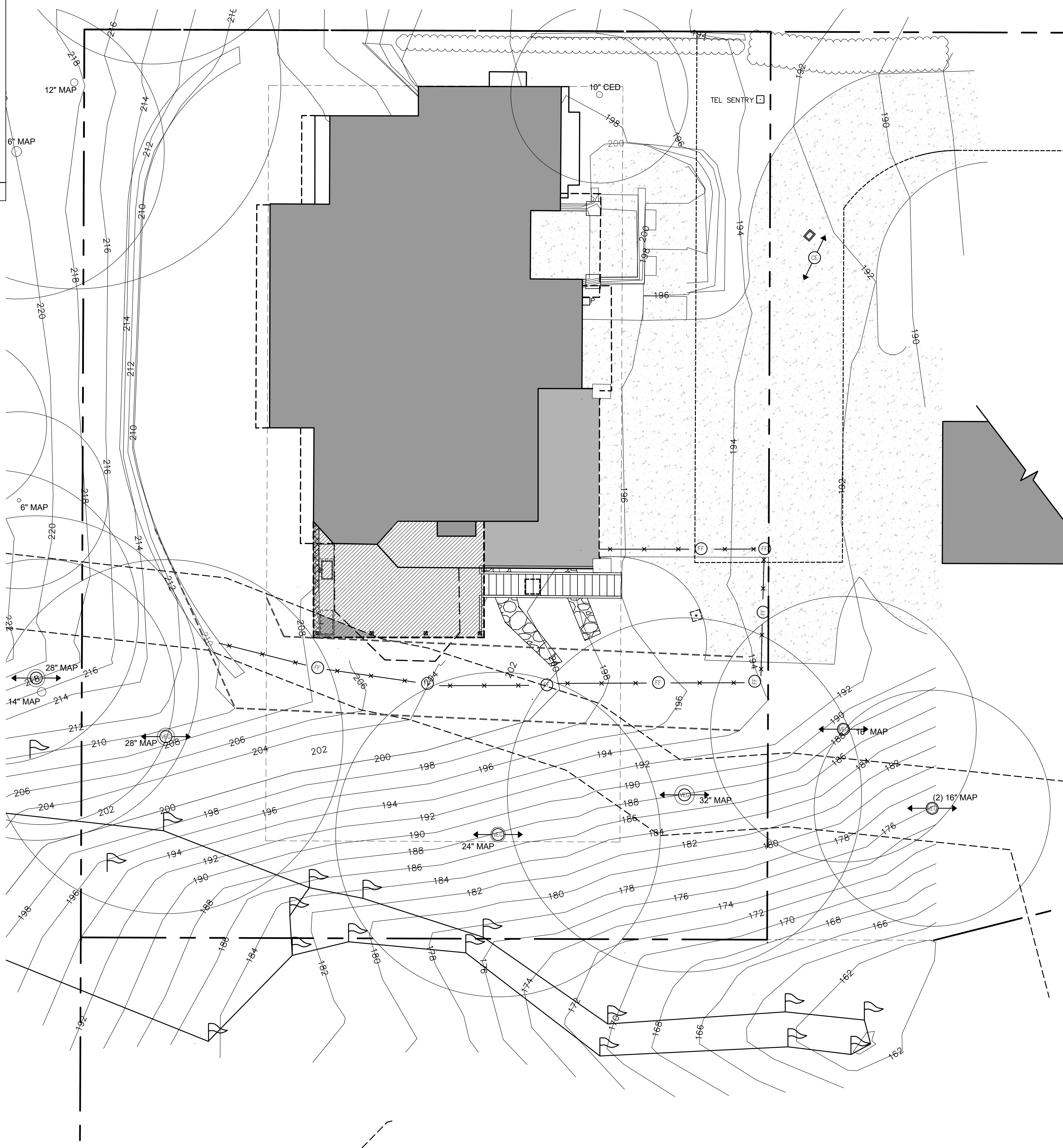


1. COMPOST SOCK SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATION 8114-413. COMPOST SOCK SHALL BE A MINIMUM 6 INCH IN DIAMETER OR SIZED TO SUIT CONDITIONS AS SPECIFIED BY THE ENGINEER.
2. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
3. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
4. MAY BE USED IN PLACE OF FILTER FENCE FOR PERIMETER CONTROL.

SYMBOL: (6)



SYMBOL: (7)



CONSTRUCTION STORMWATER CONTROL & POST CONSTRUCTION SOIL MANAGEMENT PLAN: SCALE 1/8" = 1'-0"

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.

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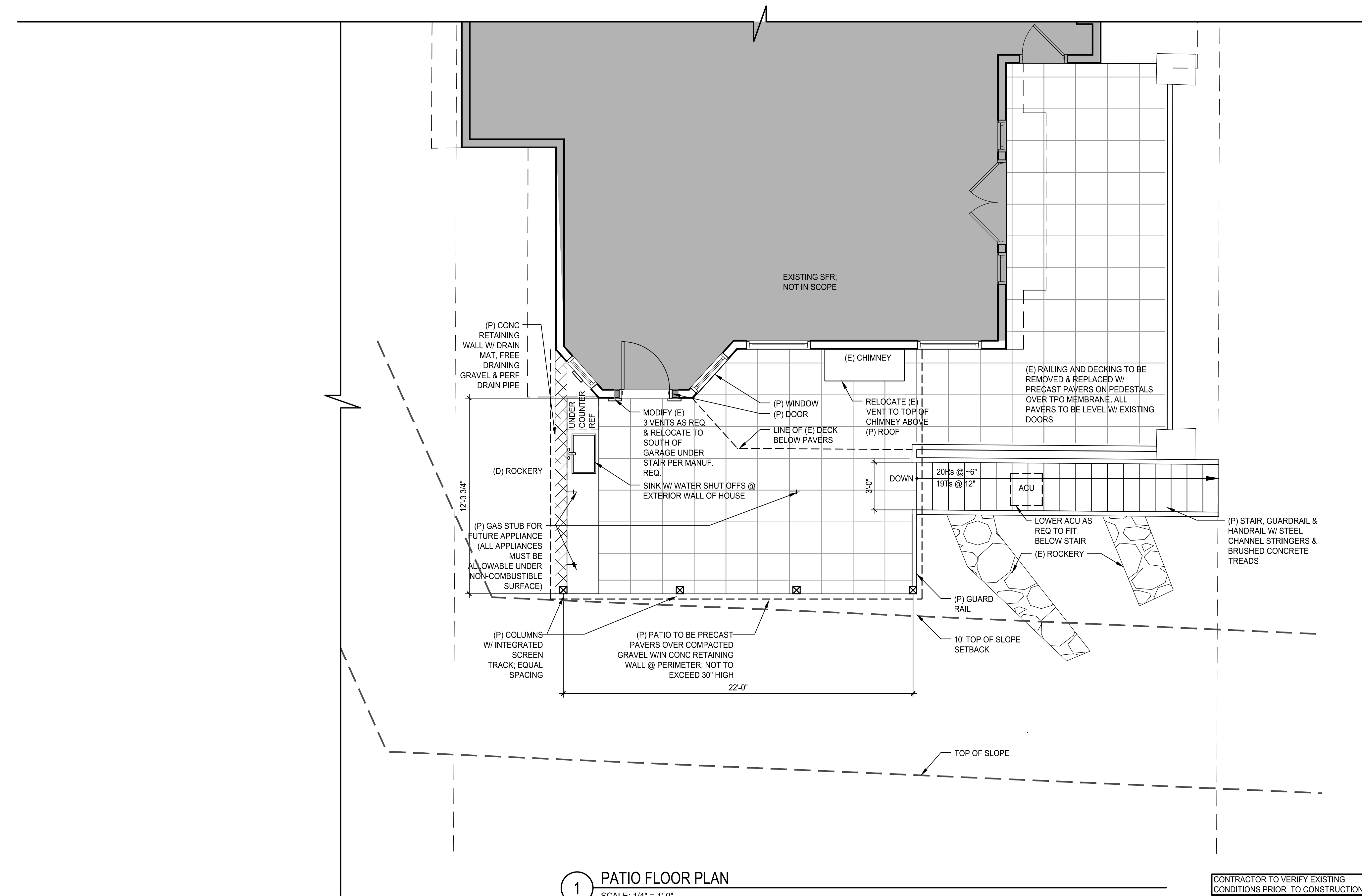
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FLOOR PLAN LEGEND <small>SEE A-C FOR GENERAL LEGEND</small>		
SYMBOL	DESCRIPTION	REMARKS
	EXHAUST FAN	See Mechanical Plans
	SMOKE ALARM	See Sheet A-C General Notes Fire Protection Section
	NEW WALL (Line of Studs)	2x studs @ 16" O.C.
	NEW SOUND WALL	Staggered 2x studs with rock wool sound batts
	EXISTING TO REMAIN	
	EXISTING TO REMOVE	

GENERAL PROPOSED NOTES	
(D) = DEMOLITION	(E) = EXISTING
(P) = PROPOSED	
-(P) HEATER -(P) MOTORIZED SCREENS -(P) RAILING CONSISTENT WITH STYLE OF EXISTING -(P) CEDAR CEILING WITH RECESSED CANS TO MATCH (E) ENTRY	

GENERAL DEMOLITION NOTES	



1 PATIO FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.



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MAIN FLOOR PLAN

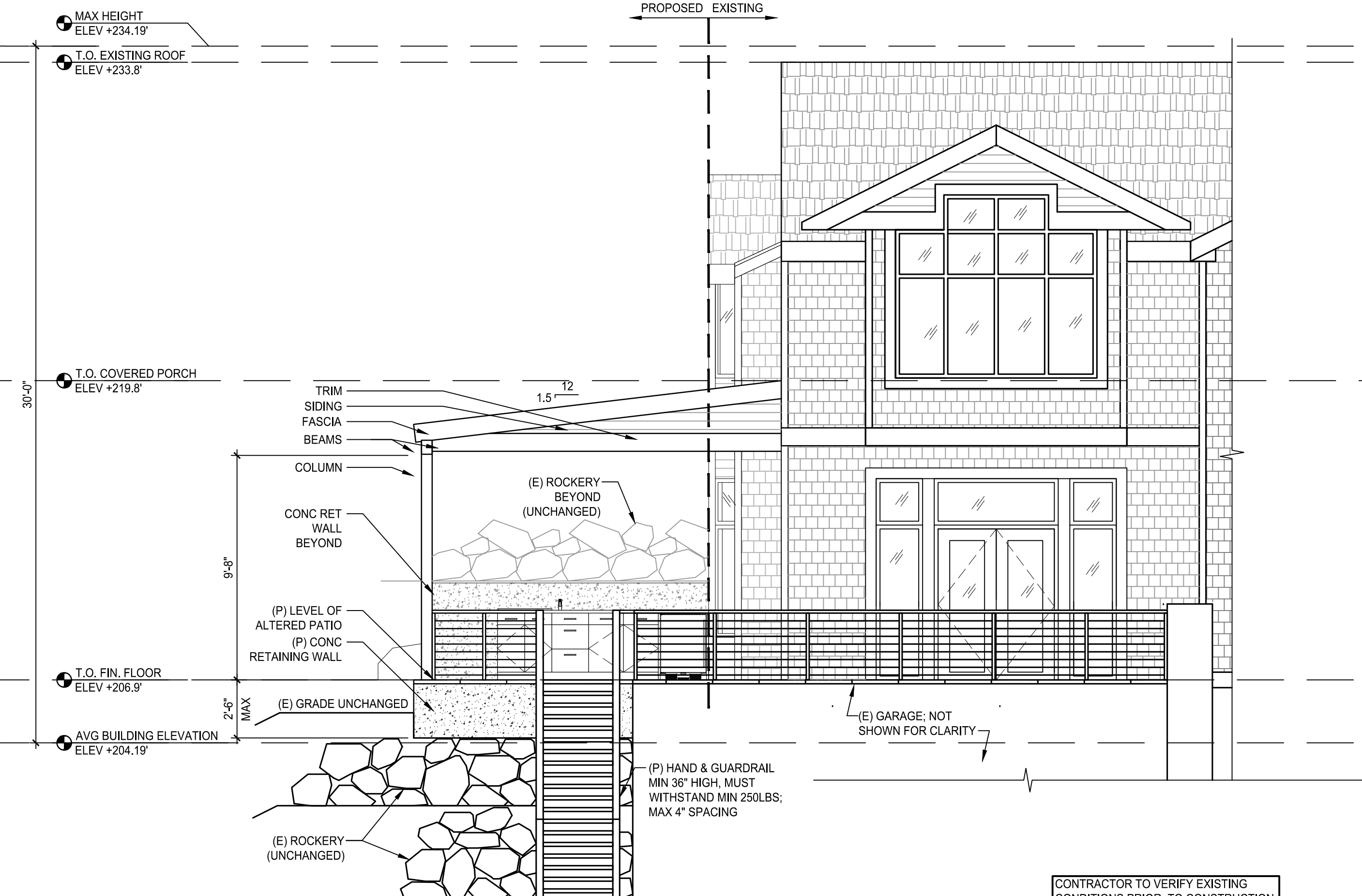
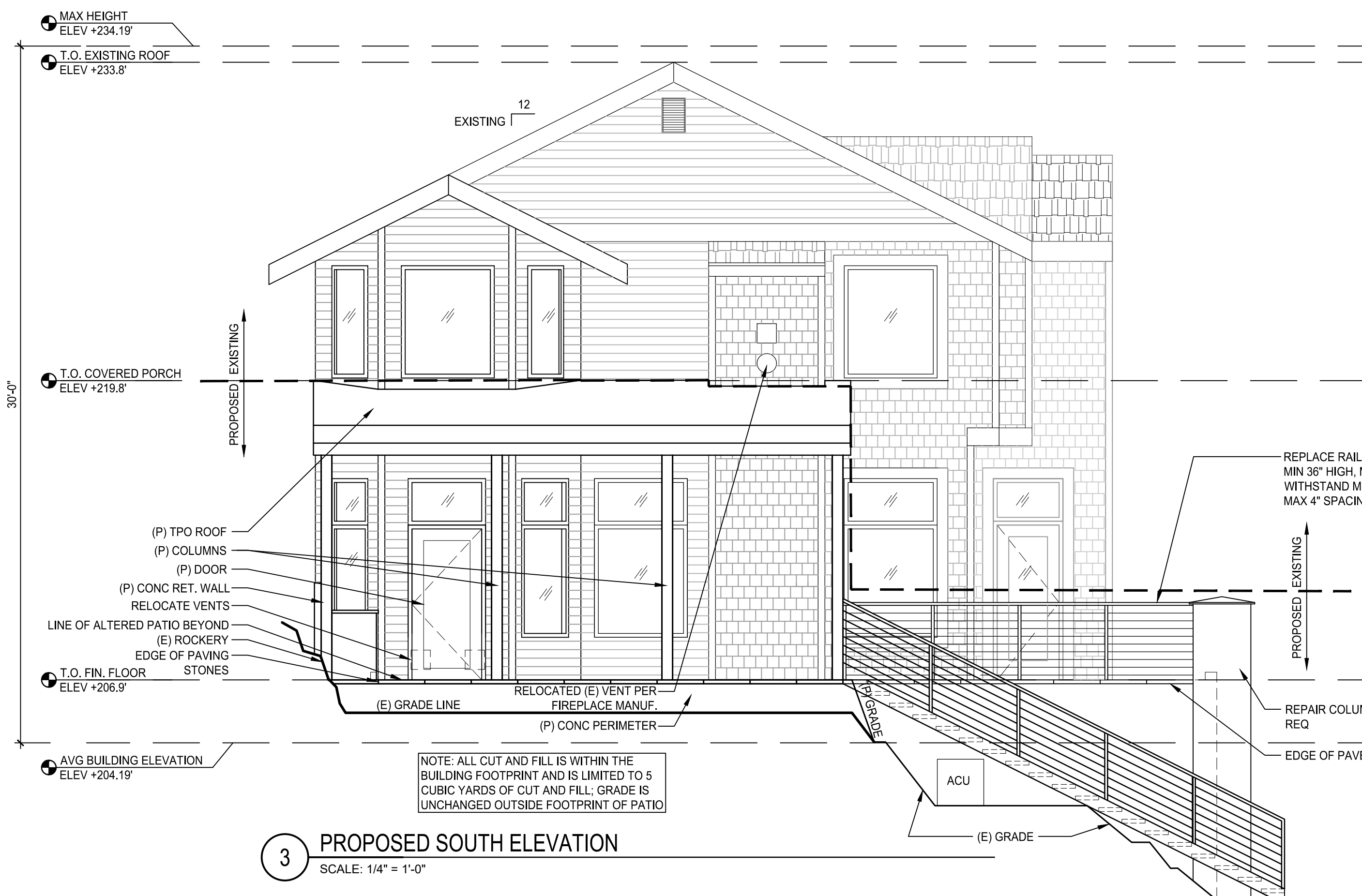
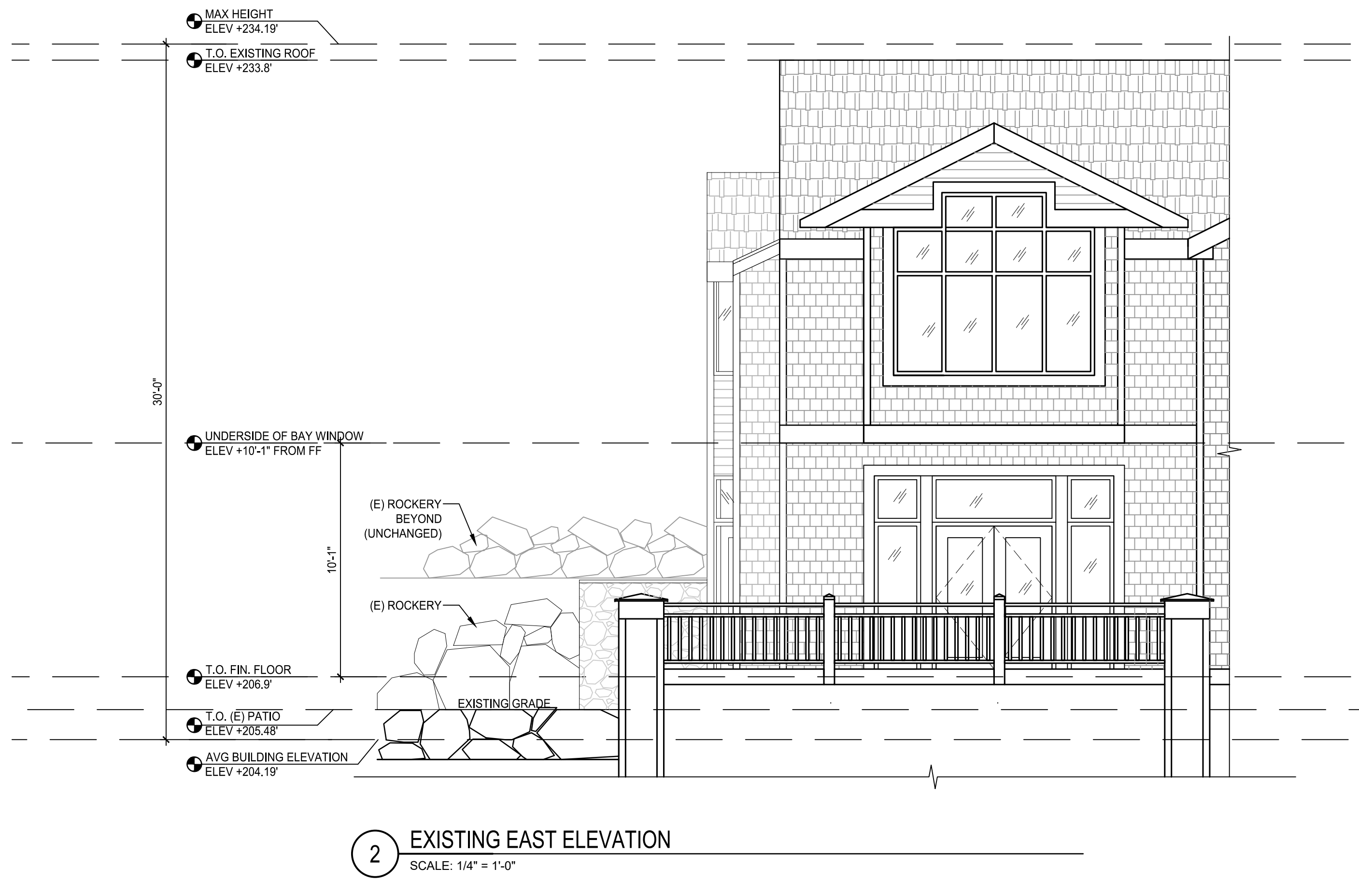
A2.0

ARCHITECT REQUIRES A MEETING WITH THE LABORERS INSTALLING SIDING AT THE BEGINNING OF THE FIRST WORKDAY TO EXPLAIN SIDING DETAILS AND SUBSEQUENT MEETINGS FOR EACH DIFFERENT SIDING MATERIAL TO BE INSTALLED.

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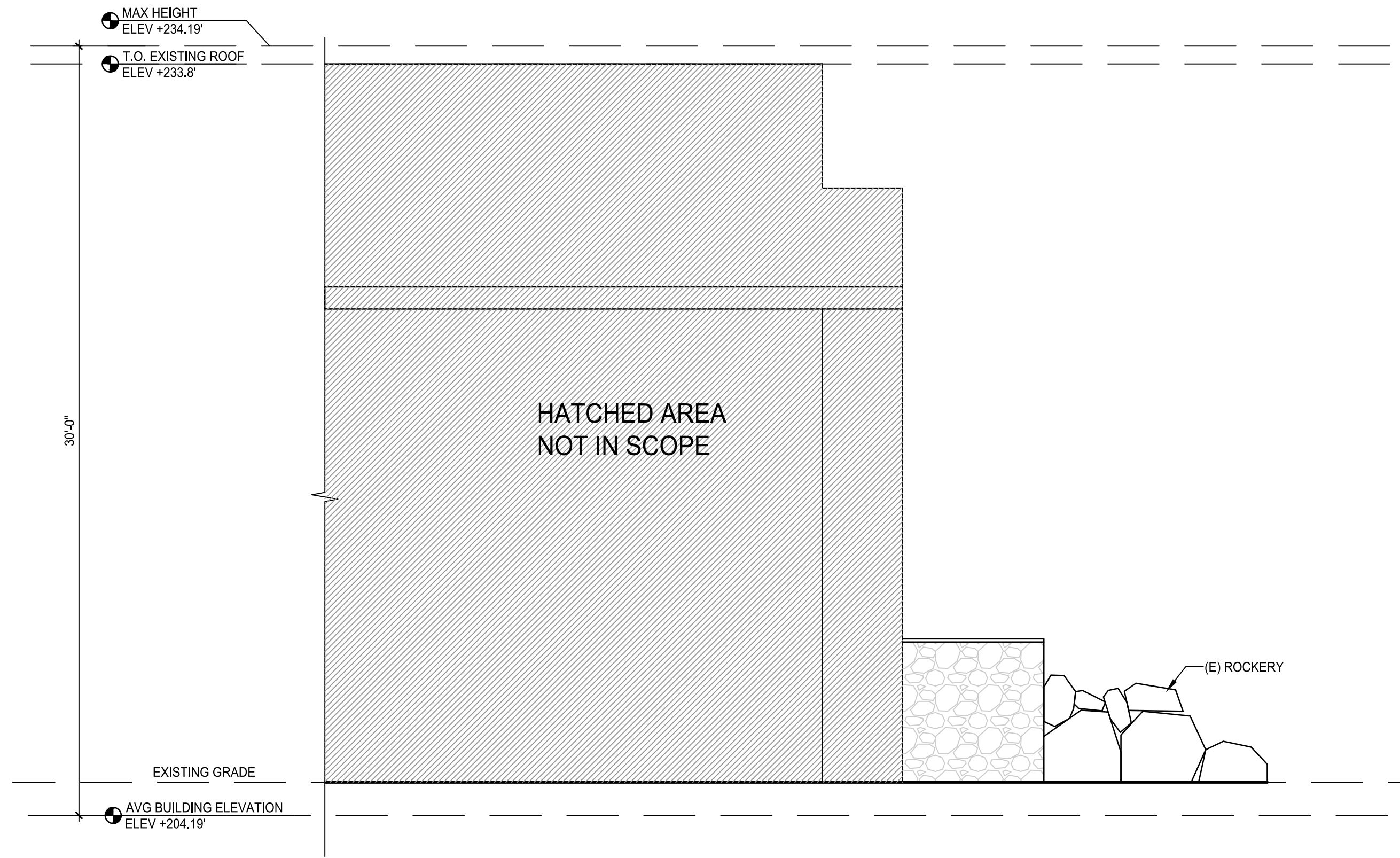
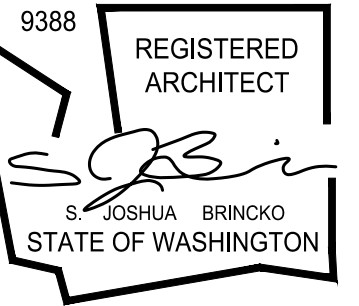
PERMIT
ELEVATIONS

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.

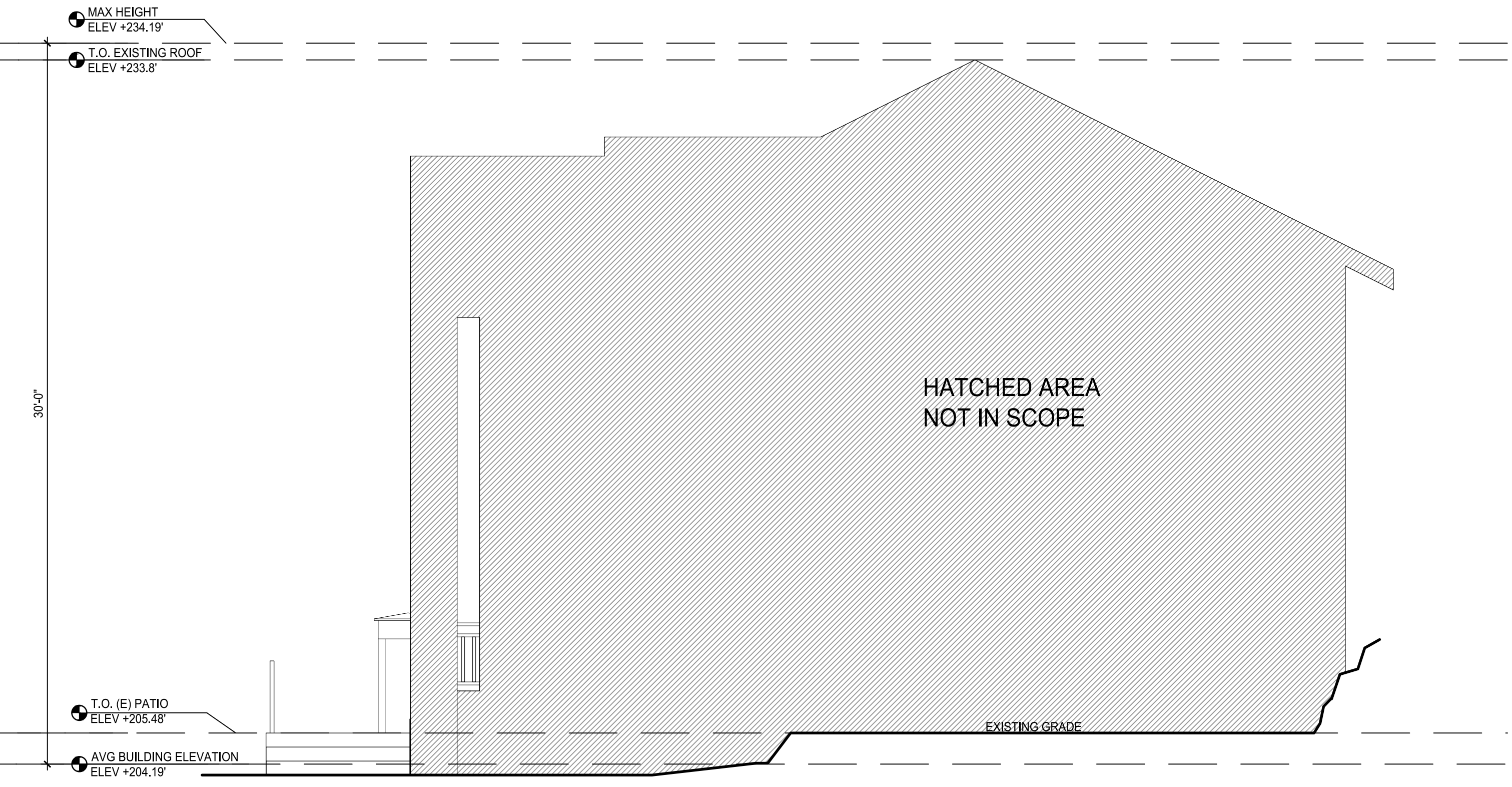
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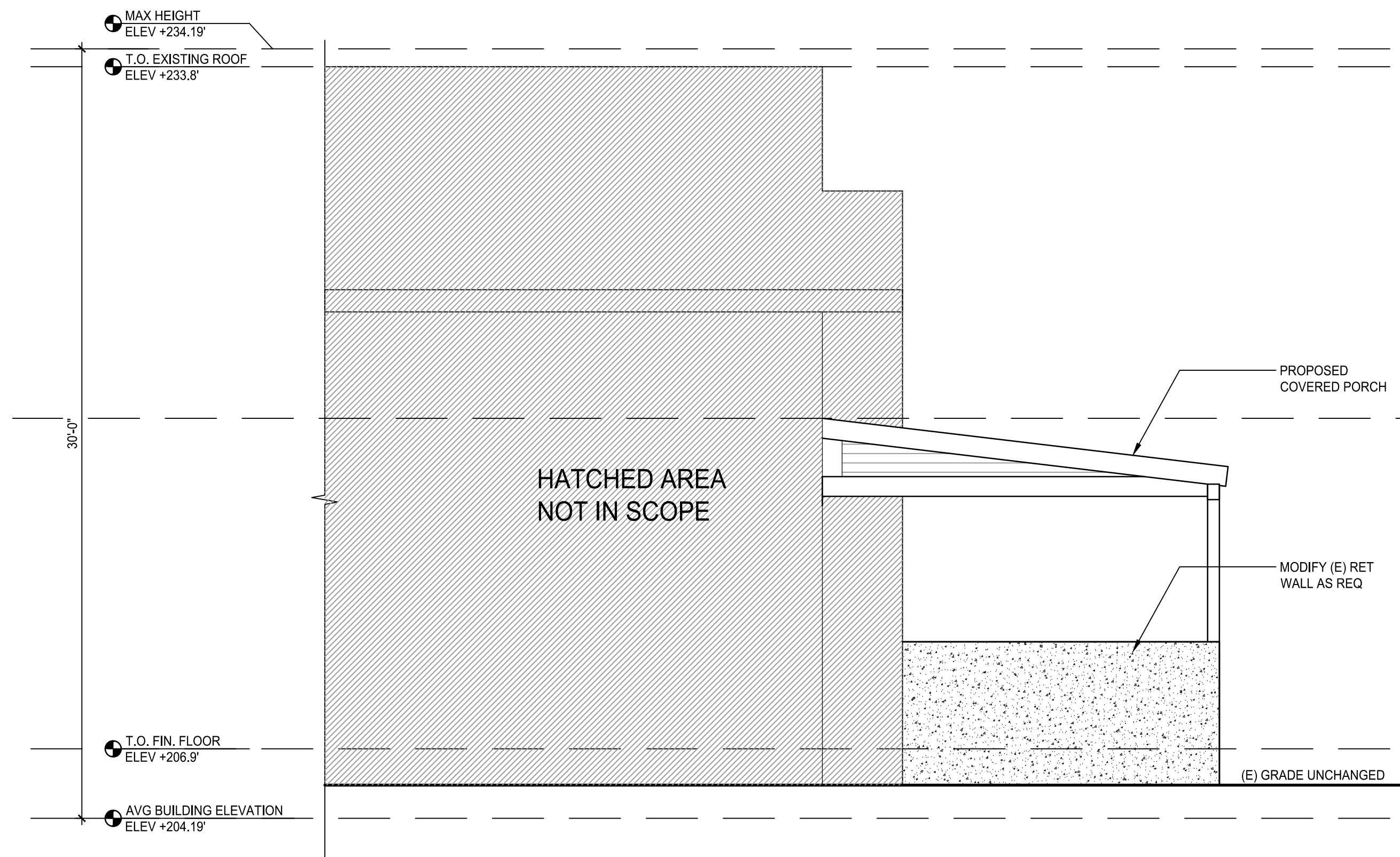
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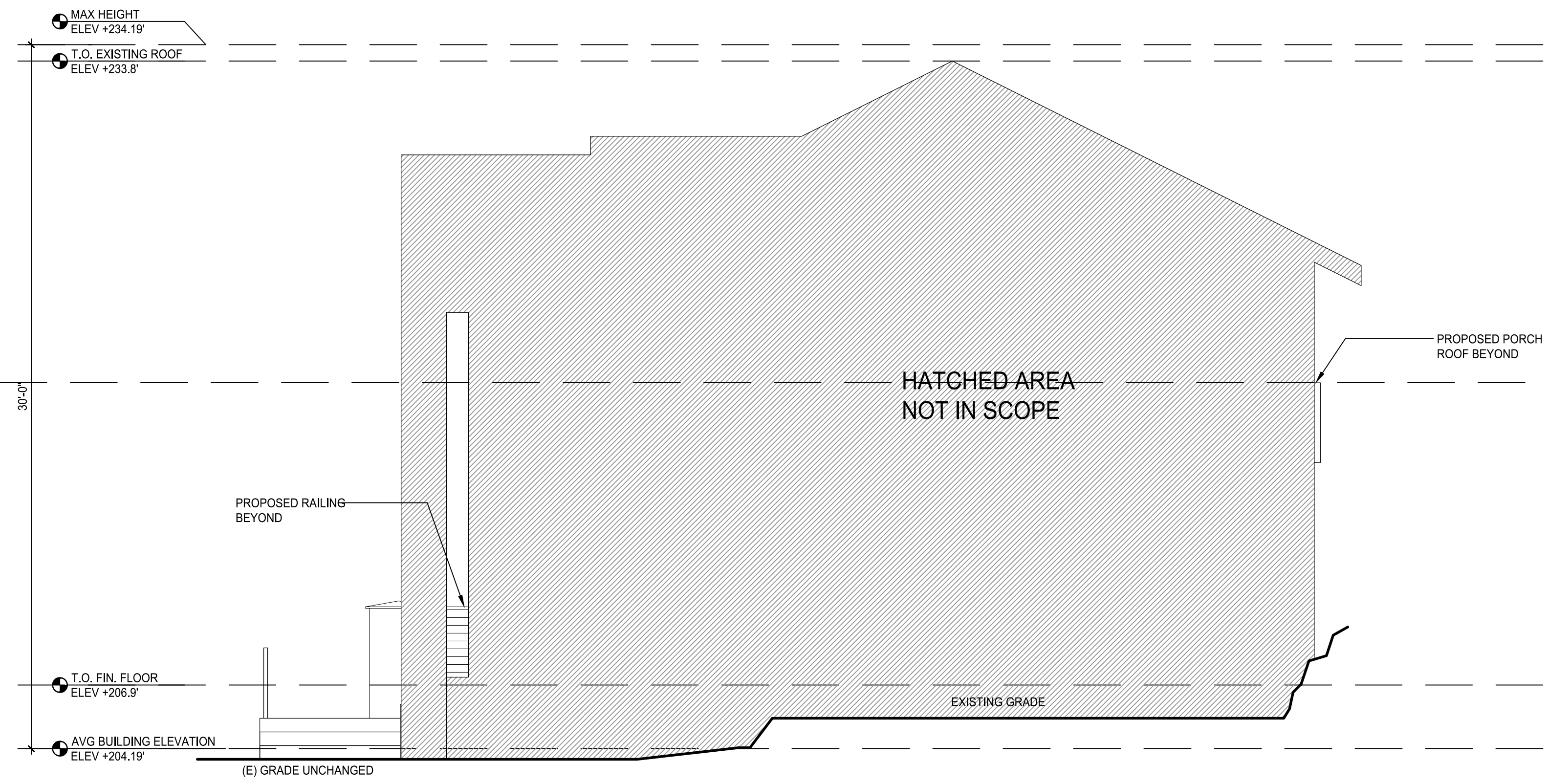
1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.

DESIGN	SJB
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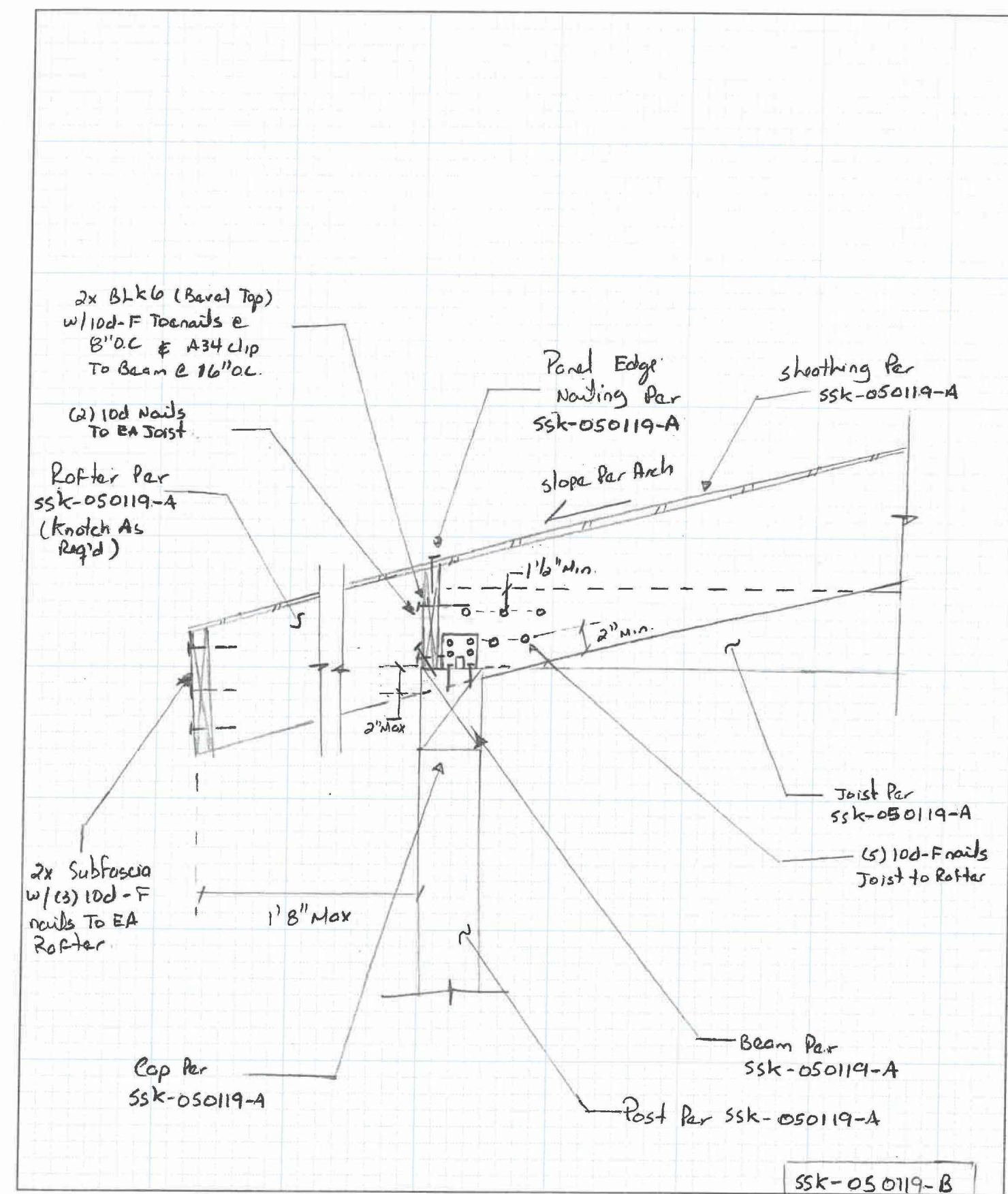
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ELEVATIONS

A3.0

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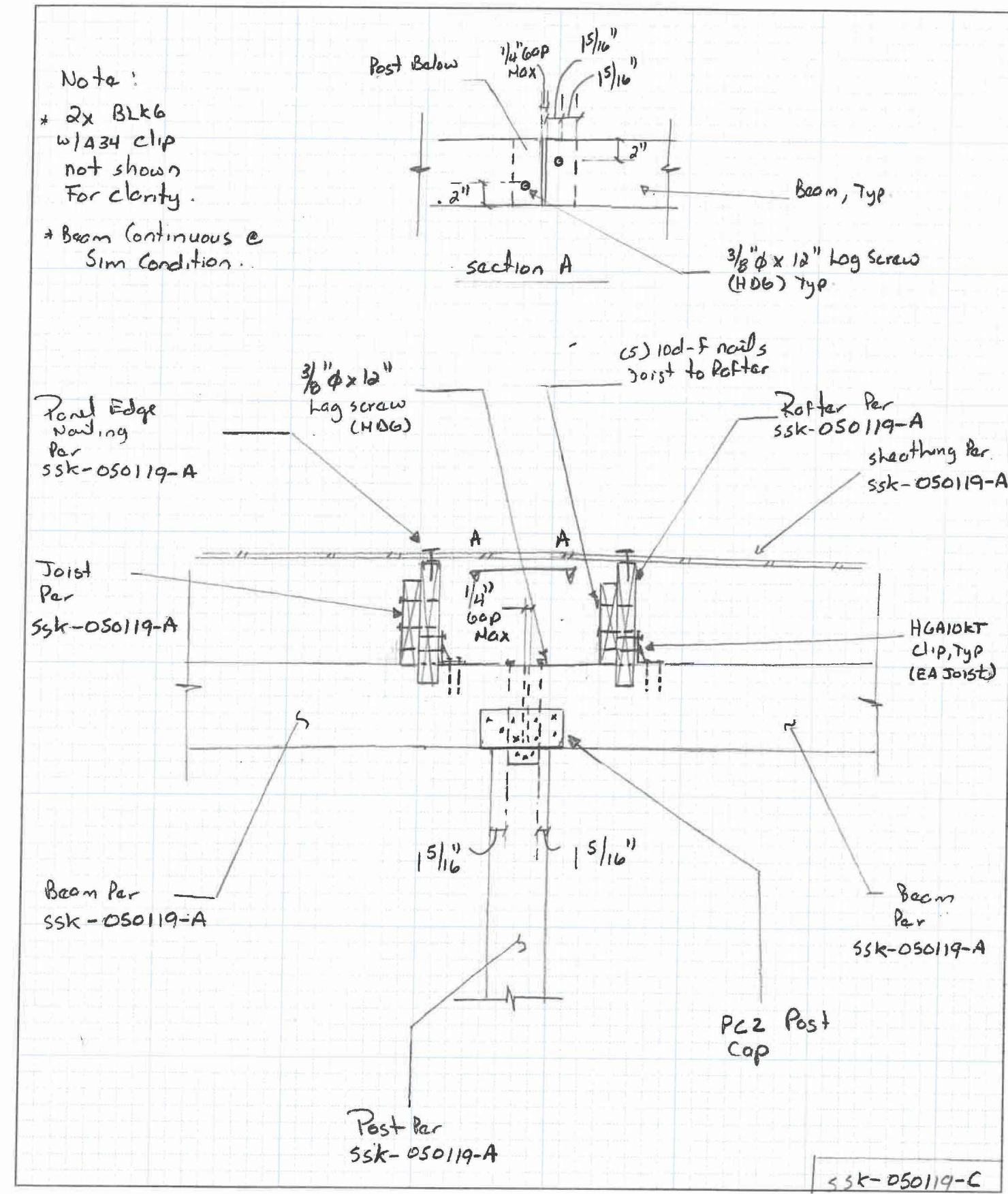
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STATE OF WASHINGTON



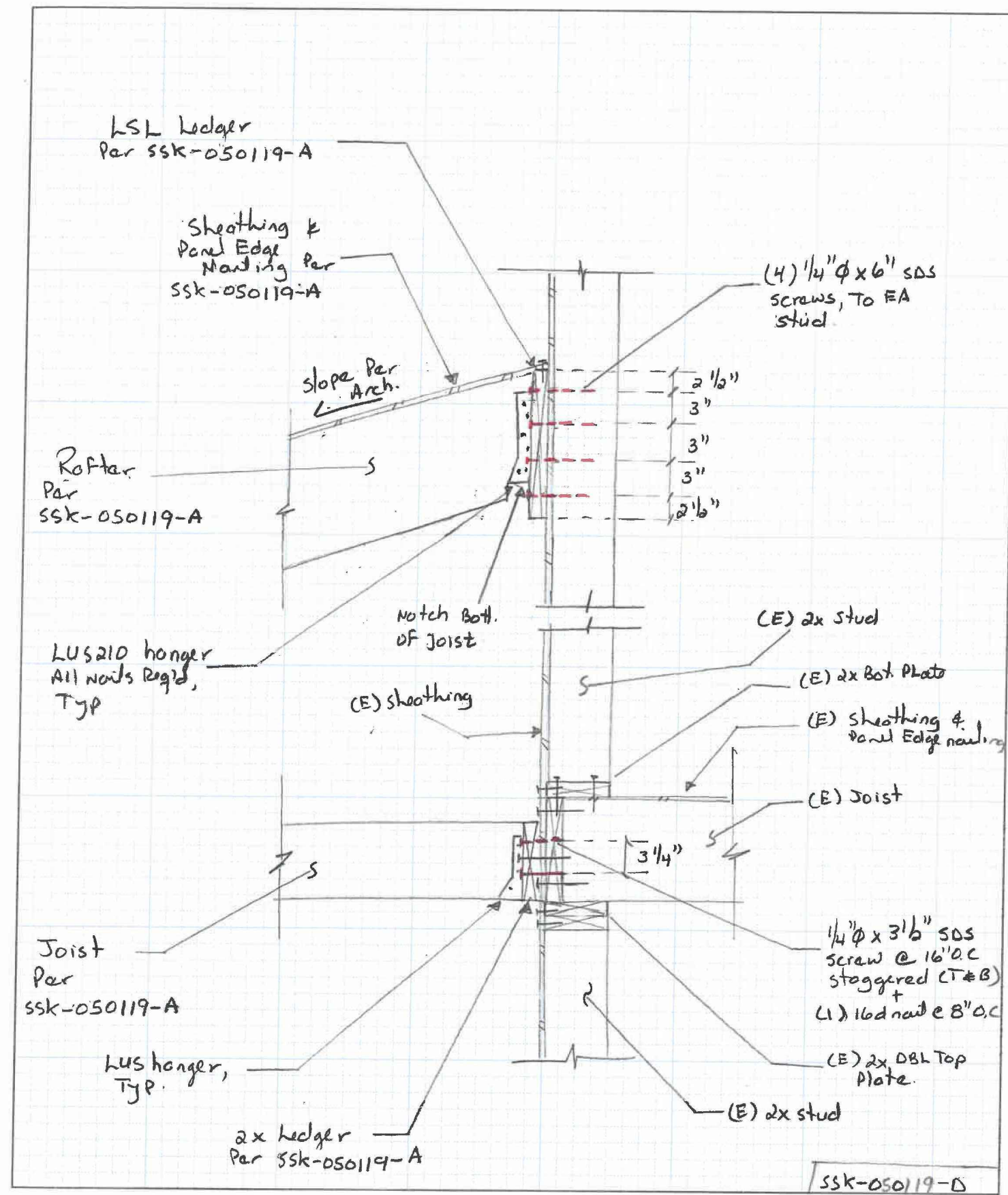
QUANTUM CONSULTING ENGINEERS
project: Lai Deck Roof Addition date: 04/23/2019 project no.: 19175.01
designer: MDA sheet: SSK-050119-B
client: Josh Artisan + Arch. checked by: _____

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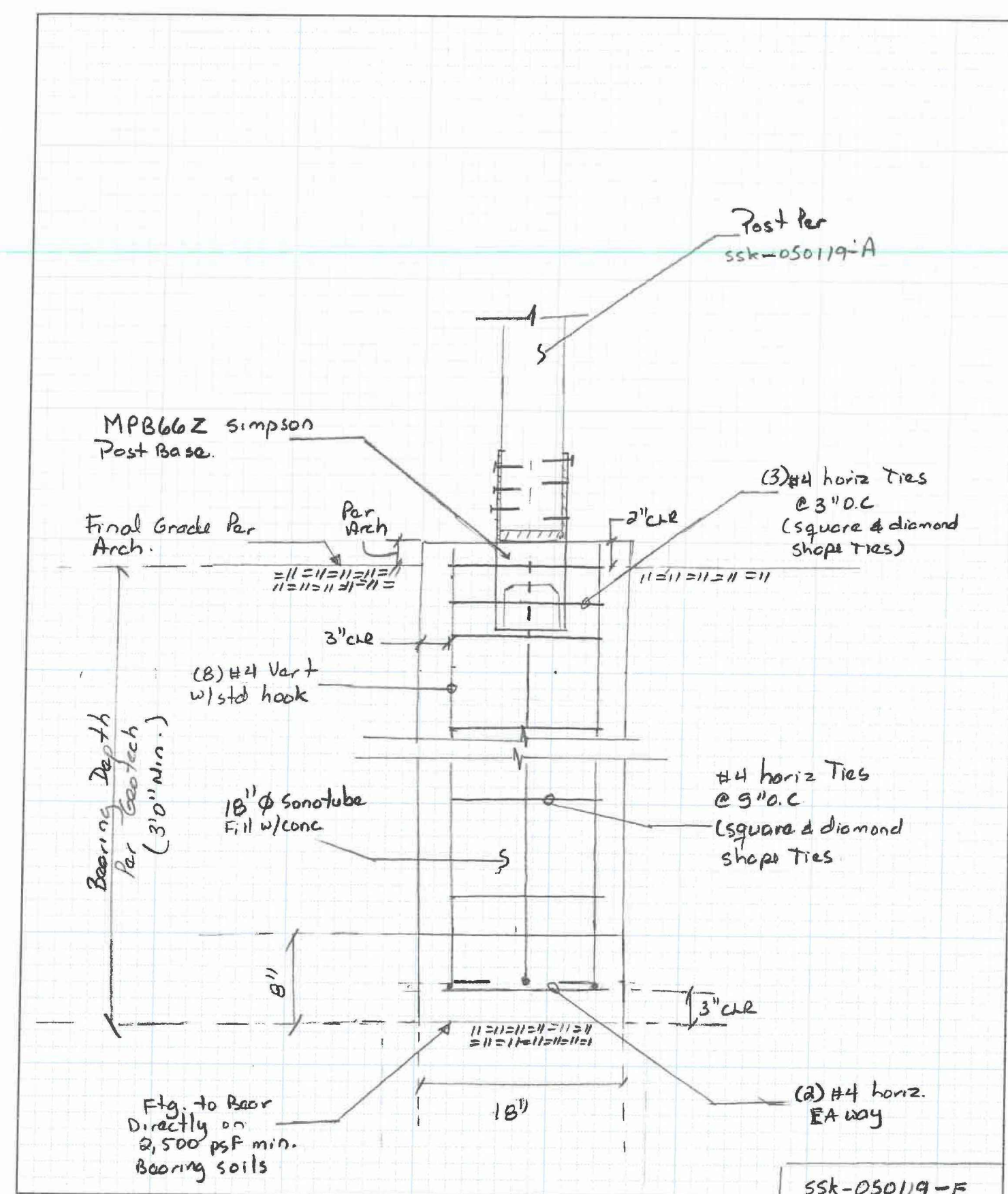
QUANTUM CONSULTING ENGINEERS
project: Lai Deck Roof Addition date: 04/23/2019 project no.: 19175.01
designer: MDA sheet: SSK-050119-C
client: Josh Artisan + Architect checked by: _____

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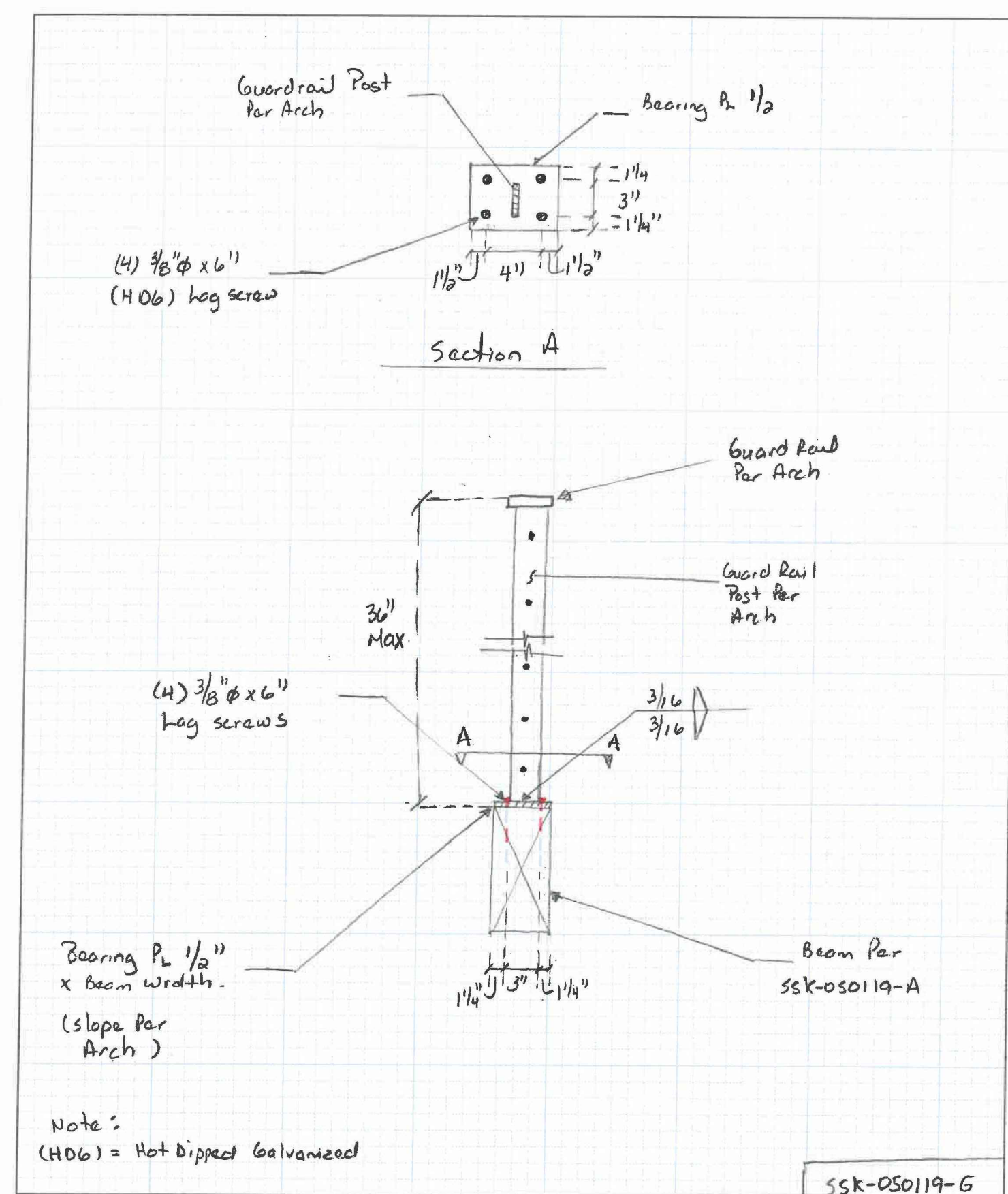
QUANTUM CONSULTING ENGINEERS
project: Lai Deck Roof Addition date: 04/23/19 project no.: 19175.01
designer: MDA sheet: SSK-050119-D
client: Josh Artisan + Arch. checked by: _____

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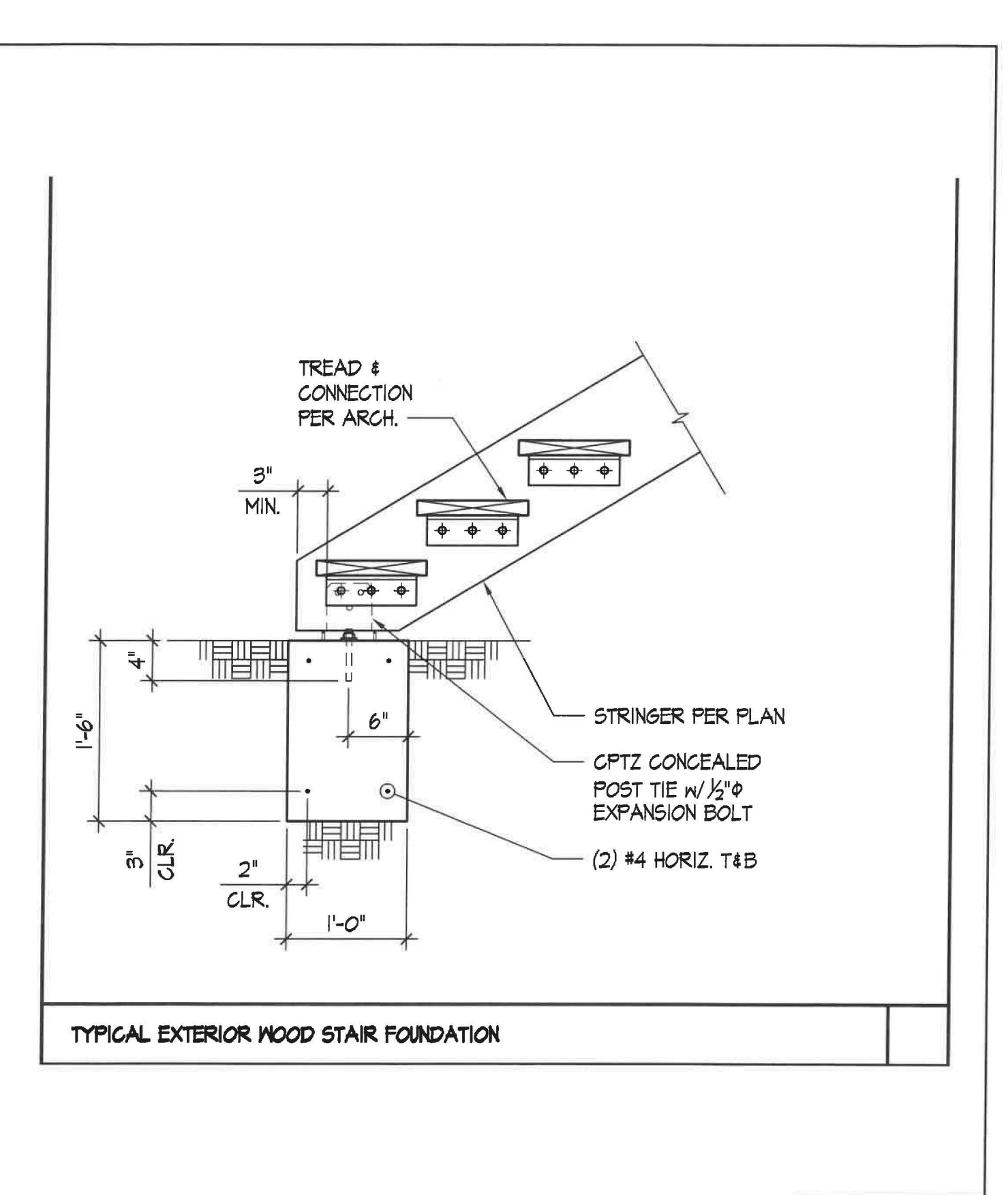
QUANTUM CONSULTING ENGINEERS
project: Lai Deck Roof Addition date: 04/23/2019 project no.: 19175.01
designer: MDA sheet: SSK-050119-E
client: Josh Artisan + Arch. checked by: _____

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QUANTUM CONSULTING ENGINEERS
project: Lai Guard Rail Connection date: 04/23/2019 project no.: 19175.01
designer: MDA sheet: SSK-050119-F
client: Josh Artisan + Architect checked by: _____

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QUANTUM CONSULTING ENGINEERS
project: Lai Deck Roof Addition date: 04/15/2019 project no.: 19175.01
designer: MDA sheet: SSK-050119-G
client: Josh Artisan + Architect checked by: _____

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DESIGN SJB
DRAWN CEC
CHECKED SJB
DATE [2019-0114 DESIGN]
[2019-0621 PERMIT]

LAI
7505 92ND AVE SE
MERCER ISLAND WA 98040

PERMIT

DETAILS

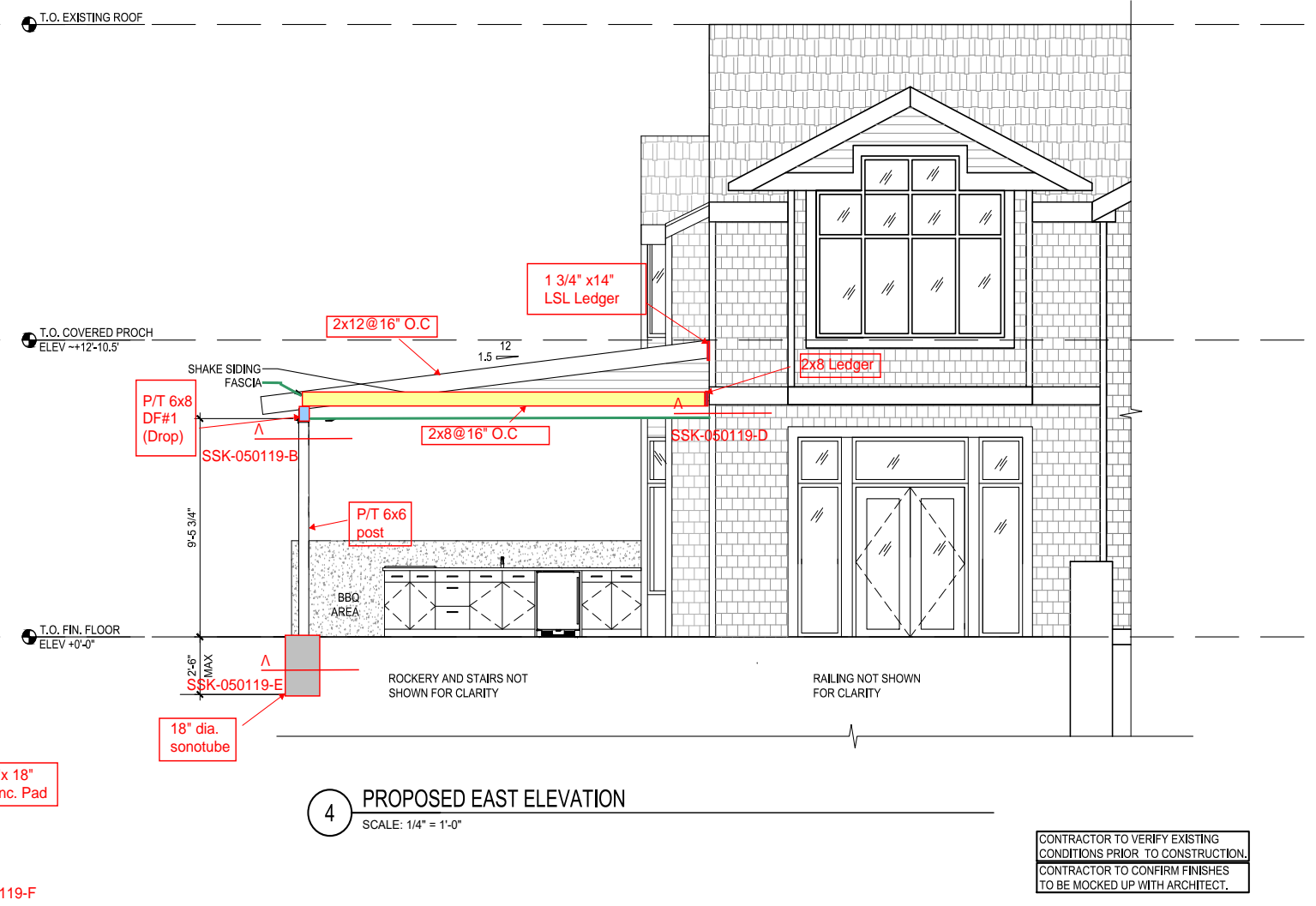
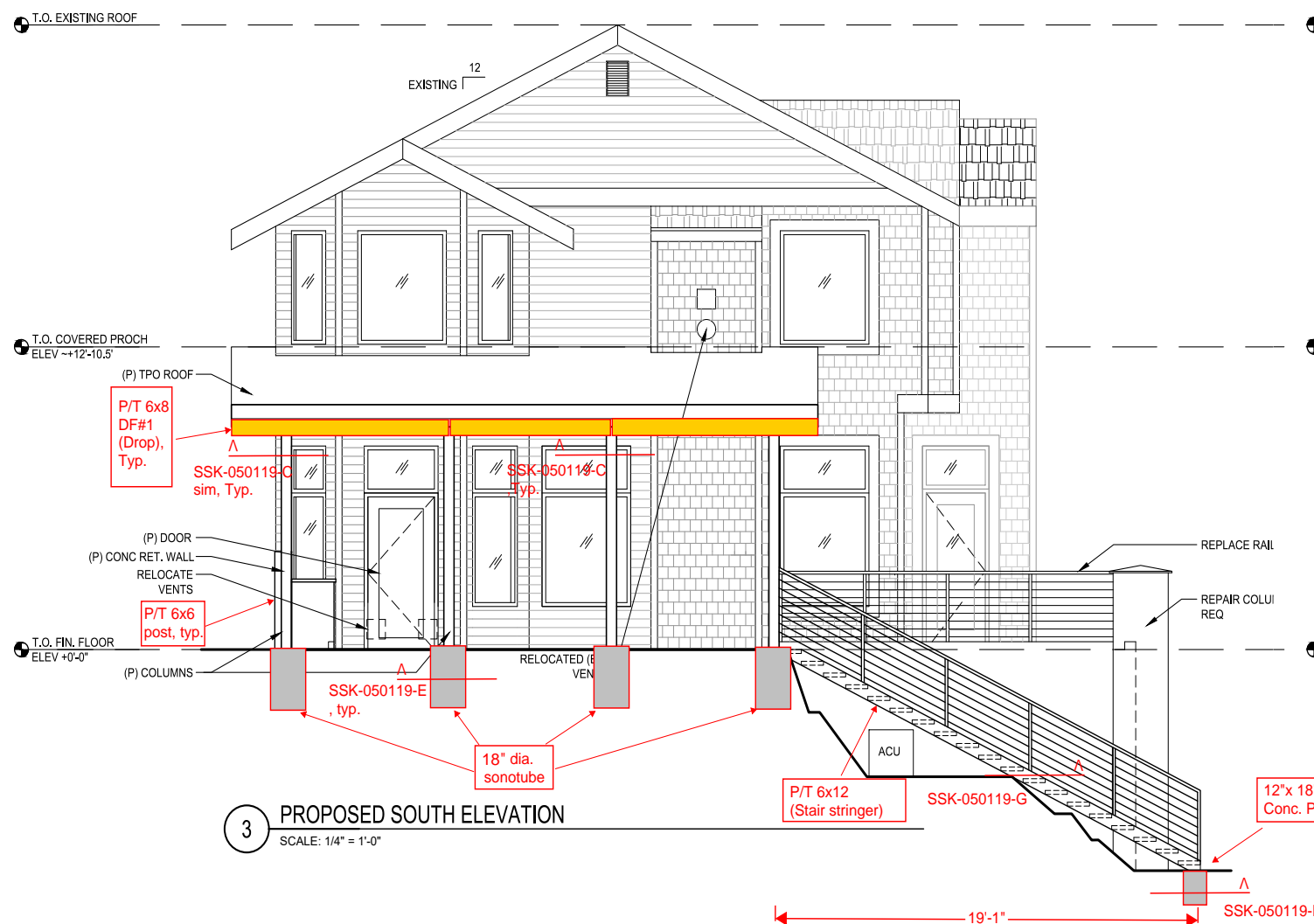
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FOUNDATION PLAN NOTES:

1. ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND MANUFACTURER'S DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER IMMEDIATELY.
2. ALL EXISTING INFORMATION IS ASSUMED AND SHALL BE FIELD VERIFIED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER IMMEDIATELY.
3. THE GEOTECHNICAL ENGINEER SHALL REVIEW THE FOUNDATION PLAN BEFORE CONSTRUCTION TO VERIFY COMPLIANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE BEFORE REINFORCEMENT PLACEMENT TO VERIFY THE SOIL CONDITION.
4. FOR STRUCTURAL GENERAL NOTES AND ABBREVIATIONS SEE SHEETS S1.0 TO S1.1.
5. FOR TYPICAL CONCRETE FOUNDATION DETAILS SEE SSK-042319-D

ROOF FRAMING NOTES:

1. SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS.
2. TYPICAL ROOF JOIST SHALL BE 2x12 DF#2 @ 24" O.C., U.O.N. HANG JOISTS WITH LSSU FACE MOUNT HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.
3. NAIL ROOF SHEATHING TO FRAMING WITH 8d NAILS (0.131"φ x 2.5" LONG) AT 6" O.C. AT ALL PANELS EDGES AND 8d NAILS AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS (UNBLOCKED).
4. PROVIDE SOLID BLOCKING BETWEEN EACH ROOF JOIST AT SUPPORTS. PROVIDE AN HGA10KT CLIP AT EVERY MEMBER TO BEAM

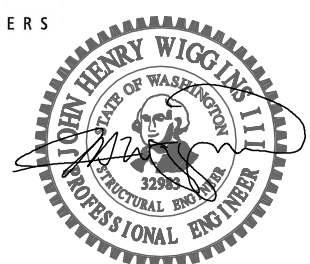


CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.

SSK - 050119-A



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Lai Deck Roof Addition
project
Josh Artisan + Architect
client

05/01/2019 19175.01
date project no.
MDA SSK - 050119-A
designer sheet
checked by