CITY OF MERCER ISLAND





INSPECTION REQUESTS:

nline	
	MyBuildingPermit.com

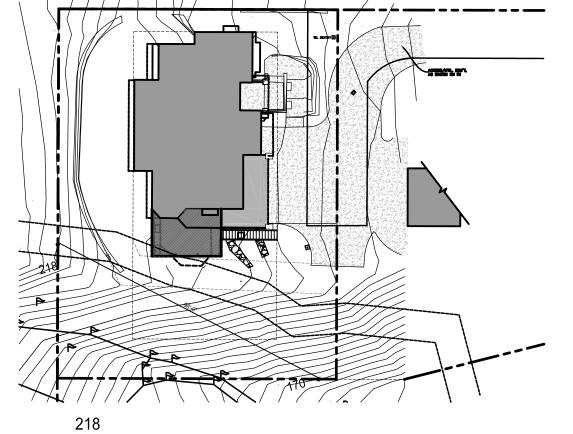
HONE: 206.275.7605 www.mercergov.org		voicemail:
lePlan	ASHINGTO	(206) 275-7730
OTE: ALL RECORDS AND DRAWINGS ARE SUBJECT T	O PUBLIC DISCLOSURE AS REQ	UIRED BY RCW 42.56
ONTACT INFORMATION: oplicant is to complete the following information.		
pplicant Contact information <i>prior</i> to permit issuance:	Applicant Contact informa	tion <i>post</i> permit issuance:
Jame:	Name:	
		
	Address:	
hone:	Phone:	
mail:	Email:	
is the Engineer of Record's responsibility to specify all require owner is responsible for hiring an approved private Special spectors (except Geotechnical) must be WABO certified. When Special Inspection or Structural Observation is required, aspection. Note: Inspection by the City Inspector is required in Elow. Do not cover or conceal any work prior to the City inspector.	red Special Inspections or Structural al Inspector for the checked inspection the report shall be submitted to the Concaddition to the Special Inspection Concaddition Concaddition to the Special Inspection Concaddition Concadd	Observation (check items below). ions noted below. All Special City Building Inspector prior to the City
STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EG	OR):	
Engineer of Record:	Company:	
General Conformance to Construction Documents	☐ Other:	
SOILS / GEOTECHNICAL: Special Inspector:	Company:	Phone:
Erosion control measures	Subsurface drainage place	cement
☐ Shoring installation and monitoring ☐ Observe and monitor excavation		ompaction
Verification of soil bearing	Pile placement (auger ca	st/driven pile)
Other:	Other:	
REINFORCED CONCRETE: Special Inspector:(Company:	Phone:
Concrete strength	Retaining wall constructi	
Reinforcing steel and concrete placement	Prestressed / Precast con	
☐ Shotcrete placement☐ Other:	Oth or	
STRUCTURAL STEEL: (AISC 360, Chapter N)		
Special Inspector:	Company:	Phone:
☐ Fabrication and shop welds☐ Structural steel erection, field welds and bolting☐ Other:	Moment Frame construct Other: Other:	ction
STRUCTURAL MASONRY:		
Special Inspector:(Mortar strength	Company: Glass unit masonry insta	
Masonry unit strength	Wall panel and veneer in	
Other: Other:	Other: Other:	
	Other.	
WOOD: Special Inspector /		
Engineer of Record:	Company:	
☐ Lateral resisting system construction☐ Other:		n construction
OTHER SPECIAL INSPECTIONS:		
	Company:	Phone:
☐ Epoxy grout installations	Stucco installation	
Expansion anchor installationsOther post installed anchors	Infiltration SystemExterior Insulation Finish	System (EIFS) installation
☐ Alternative construction methods: ☐ Alternative construction materials:	Other:	
EFERRED SUBMITTALS:	Other:	
e Applicant is required to select all deferred submittals / shorication / construction.	op drawings for submittal to the Cit	y for review and approval prior to iten
Connector plate wood trusses	Post tension layout	
☐ Metal joist / metal trusses☐ Premanufactured structures (stairs, etc.)	Exterior claddingWindow wall / curtain w	all construction
Precast concrete elements	Other:	
Other: NERGY CODE COMPLIANCE INFORMAT	Other:	
dicate where the following information is located in the dra		or include the Residential Energy Code
escriptive Compliance (RECPC) Form into the drawing set.	,,	3, -500
Sheet:		
Building envelope: wSEC Table 402.1.1	Air Leakage Testing. IRC Sec	
(include U-factors, insulation and moisture control)	Provide air leakage t	est report verifying air leakage rate
Whole house ventilation: IRC Section M1507 WA Amended (include ventilation option and duct sizing if applicable)	does not to exceed 5 ✓ Duct Leakage Testing. ws	5 air changes per hour. EC R403.2.2
Energy Credit Information: WSEC Table 406.2	Postconstruction Test. w	SEC R403.2.2.1
(include specific, written requirements) RECPC Form Information:	Rough-in Test. wsec R403.2.2.3	
(if incorporated within drawing set) http://www.mercergov.org/files/2012ResidentialEnergyCalcForm.pdf		

Y DSG	PROJECT ALERTS: Construction of the project shall be from <i>approved plans only</i> . No deviation from the approved project plans is allowed without prior	/ DSG
TO BE COMPLETED BY	Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including: Site Considerations ROW restrictions Drainage Requirements Construction Vehicle Parking Restrictions Acess Road Requirements Water Service Requirements Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements. Temporary site address with minimum 6" high numbers visible from the street must be installed. Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work. A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.	TO BE COMPLETED BY
ļ	TREE PROTECTION REQUIREMENTS:	
	 ✓ Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project. ✓ No trees shall be cut without a City of Mercer Island tree permit. ☐ Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection. ☐ For this project, trees are authorized to be removed and replaced with trees. ☐ This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their website at http://www.fws.gov/pacific/eagle FIRE PROTECTION REQUIREMENTS: 	
	Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614	
	☐ Fire Sprinkler ☐ Monitored Household Fire Alarm per NFPA 72	
	Plus Monitored Sprinkler	
	□ NFPA 13R Water Flow Alarm □ NFPA 13 □ Other:	
	☐ Approved Fire Code Alternatives: ☐ FCA1	
ļ		
ļ	WATER SUPPLY REQUIREMENTS:	
	 ☐ Fire sprinkler design calculations must be provided prior to determining water supply system requirements. ☐ Water Supply system upgrade required ☐ City Installation. ☐ Applicant Installation. Required Service Line Size: ☐ Required Supply Line Size: ☐ Required Meter Size: ☐ (water main to house) 	
ED BY DSG	 □ Abandonment of existing service and meter required at main. ☑ Pressure reducing valve required if pressure exceeds 80 psi. ☑ Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation). □ Additional water supply requirements: 	S BY DSG
듸	DRAINAGE REQUIREMENTS:	
COMP	☐ On site detention system required☐ On site infiltration system required☐ No Storm Water permit required	COMPLE
_	As-built Utility drawings required Connection to public storm drainage conveyance system req'd. Full Size drawings required Other:	
B	SIDE SEWER REQUIREMENTS:	BEC
2	Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties. Video tape of existing sewer required (see standard details) New connection. Connect to existing. Disconnect permit required. Reconnect permit required.	10 6
	Other: Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of	
ŀ	Mercer Island Maintenance Department at (206) 275-7800. APPROVED CODE ALTERNATIVES:	1
	Code alternatives must be Inspected. Refer to the Inspection Checklist	1 -
	☐ CA1: ☐ CA2:	
		1 1
	SURVEY REQUIREMENTS (The following survey information must be submitted when checked): Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy. Surveyor:	
	Building height survey	Ш
	 MAXIMUM 40 PERCENT ALTERATION INSPECTION: MICC 19.01.050(D)(1)(b)(i) A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730. ☐ Civil / Drainage ☐ LUP / Setback requirements 	
	GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1	
SG	without an approved Seasonal Development Limitation Waiver. Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.	DSG
BY D	Geotechnical Engineer Phone	BY D
COMPLETED B	SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.	LETED
Š	Permit number Approved by Date	COMP
BEC		BE 0

It is the ap	plicant's respo uildingPermit	STRUCTION INSPECTIONS: Insibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) pection. Be specific as to type of inspection.		~
applican	nts responsibi	and date appropriate inspection <i>only</i> if approved. Note: <i>Items marked with an "*" require a separate permit.</i> It is the ty to apply for and obtain all City of Mercer Island permits. Order of typical sequencing) Doved		IT NUMBER
	*	Pre-construction Meeting to Review Conditions of Permit Approval. Tree protection		ERMIT
		Erosion control Sewer disconnect and cap. If applicable, separate side-sewer permit required		۵.
		Right-of-way use or work / easement, material delivery, etc. If applicable,		
		separate ROW permit required Land clearing, grading and demolition	Cen	
		Temporary power Pilings / Shoring / Shotcrete. If applicable, provide survey letter	ANC	Date
	⊔	property line); Geotechnical Engineer / Special Inspector	JPAI s have	
		reports of inspections (pile and shoring installation, etc.) Footings, setbacks, UFER ground. If applicable, provide survey letter	OCCU spections approved	
		(building height and setbacks); Special Inspector reports of inspections (soil bearing capacity, compaction, earthwork, pile installation, etc.)	= OCCU inspections d approved.	
		Foundation walls / concrete columns		
		Roof and footing drains Foundation damproofing	FICATE OF	
	*	Storm drainage, including (but not limited to):	ATE all requirence	
		 Connections to storm Main in ROW Conveyance piping / cleanouts 	FIC fter a	
		 Detention systems Infiltration systems Storm drain in ROW Control structures / manholes 	ed a	Þ
		Catch basins including Pump systems	ER	Approved
	*	oil-water separator tees • Retaining wall drainage Water Service	O	Ap
		Water Supply		
	*	Water as-built drawings Side sewer installation, including (but not limited to):		
		 Connections to side Back-flow valves Grinder pump systems 		
		Connections to existing		
		side sewer Driveway / Access road		
		Underslab electrical / mechanical / plumbing Underslab insulation / vapor barrier / reinforcing		
		Underfloor framing		
		Nailing-Roof sheathing. If applicable, provide Special Inspection etter for lateral wood inspection.		
		Nailing-Exterior wall and Shearwall. If applicable, provide Special		
		nspection letter for lateral wood inspection. Rough hydronic installation		
	· · · · · · · · · · · · · · · · · · ·	Rough electric installation Rough fire alarm (wiring inspection)		
		Rough plumbing installation (DWV, water)		
		Rough mechanical Gas Piping		
	*	Rough fire sprinkler / hydrostatic and flow (bucket) test Framing and glazing. If applicable, provide Special Inspection letter for		
		ateral wood inspection, welding epoxy anchors, etc.		
		Masonry construction (fireplace / walls / veneer / etc.) Insulation installation		
		Stucco (paper and lath) Shower pan (or tub)		
		Miscellaneous		
		Code Alternative CA1: Code Alternative CA2:		
		mpact Fees Paid (If applicable)		
		Final Inspection: Tree Restoration		
		Final Inspection: Fire protection, including (but not limited to): • Fuel Tank Installation		
		Access Road Fire Extinguishing System		
		• Fire Code Alternatives (see below) ☐ FCA1: ☐ FCA3:		
	— п	FCA2: FCA4: Two starts are supply protection, including (but not limited to) TW		
		packflow devices for:		. ;;
		 Waterfront property Fire / lawn sprinkler Boiler 	5	
		Final Inspection: Site and utility: includes landscape, utilities and ROW. Site	JE AE	E E
		Final Inspection: Building, including electrical / mechanical / plumbing. If	~	
		applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).	ΔZ	PA
90 DAY	TEMPO	RARY CERTIFICATE OF OCCUPANCY (TCO):		
Applicant of	option. Additi	onal fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.	KEPT MES	
Approved		Start Date End Date	ALL MPL	Date
		QUIRED CITY INSPECTIONS: act to arrange the inspection.	MU AT A	
	Inspection(s)	Contact: Dhono: Cebaduling:	. 111	
			DRAWI ILDING FOR C	
IMPAG	T EEES.	DLAN DEVIEW ADDROVALS.		
If applicable	T FEES: le.	PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.		
		ly and are due <i>prior</i> to Final Inspection or on	ROV THE VIEW	ρ
		, whichever occurs first.	APP ON RE	Approved

10001	ECT DATA	PROPERTY DATA	ENERGY DATA
WNER Al		PROJECT ADDRESS	PRESCRIPTIVE OPTION (ENERGY CREDIT 1A)
AHTANC	NL@DCLMANAGEMENT.COM D AVE SE	7505 92ND AVE SE MERCER ISLAND, WA 98040	INSULATION VALUES SLAB PERIMETER (FIRST 24") R-10
	ISLAND, WA 98040	ZONING DESIGNATION R-9.6	BELOW GRADE WALLS (EXTERIOR) BELOW GRADE WALLS (INTERIOR) R-10 R-10
RCHITE()SH PS	СТ	19.02.020.E HEIGHT LIMIT	ABOVE GRADE WALLS R-21 FLOORS R-30
	BEACH DRIVE TER , WA 98116	30' FROM AVERAGE GRADE TO HIGHEST POINT OF ROOF (5' BONUS FOR CHIMNEYS ETC.)	ATTICS W/ 1" CLEAR VENT SPACE R-49 ADV FRAMED ATTICS W/ 1" CLEAR R-38
ONTACT	AC58960 T: S. JOSHUA BRINCKO (206 708 9933)	*FENCES MAX 72" HIGH (50" LATTICE ALLOWED	VAULTED JOISTS/RAFTERS R-38
•	OSHARCH.COM	UP TO 90")	FENESTRATION U-0.2 OVERHEAD GLAZING U-0.8
NENSO	JRAL ENGINEER N SAY FAGET AVE #100	SETBACKS FRONT: 20'	*ALL NEW FENESTRATION TO BE NFRC
EATTLE,	, WA 98121 F: KARL ROSMAN (206 443 6212)	NORTH SIDE: 7.5' SOUTH SIDE: 13.43' REAR: 25'	CERTIFIED
	N@SWENSONSAYFAGET.COM	LOT AREA	
ONTRAC	CTOR	11447 SF	
EOTECH	HNICAL ENGINEER	ASSESSOR'S TAX NUMBER 257950-0188	
EATTLE,	TLAKE AVE E, SUITE B , WA 98102 T: SIEW L. TAN, P.E. (206 262 0370)	LEGAL DESCRIPTION FLOODS LAKE SIDE TRS LOT "1" MERCER ISLAND SHORT PLAT NO 95-0521 REC NO 9602019001 SD SHORT PLAT DAF - POR OF LOT 2 BLK 5 OF FLOODS LAKE SIDE TRS - AKA LOT 4 OF THE SULLIVAN SEGREGATION APPROVED SUBD 03-22-63 OF CITY OF MERCER ISLAND REC NO 8903100404 PLAT BLOCK: 5 PLAT LOT: 2	
ABLE	E OF CONTENTS	CONSTRUCTION DATA	VENTILATION DATA
HT	DESCRIPTION	SCOPE OF WORK REPLACE EXISTING DECK WITH PAVERS; ADD	SYSTEM DESIGN
1.0	SITE PLAN + PROJECT INFORMATION	PATIO AND EXTERIOR KITCHENETTE	THIS SYSTEM IS DESIGN/BUILD (IRC CH. 15)
1.1	GENERAL NOTES	AREA SUMMARY	SYSTEM CRITERIA MINIMUM OF 25 AIR EYCHANGES REP HOUR
1.2 2.0	TESC FLOOR PLAN	19.02.020.D.1.b MAX GROSS FLOOR AREA (40%) 11,447 = 4578.8 SF MAX ALLOWED =4,790 SF EXISTING	MINIMUM OF .35 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. MAXIMUM OF .50 AIR EXCHANGES PER HOUR
3.0	ELEVATIONS	=4,790 SF EXISTING *STAIRCASE FROM FLOOR ONE TO TWO IS ONLY COUNTED ONCE	FOR ALL HABITABLE ROOMS.
3.0	DETAILS	CONDITIONED SPACE	SYSTEM COMPONENTS
1.0-1.1	STRUCT GENERAL NOTES	LOWER LEVEL 660 SQ FT MAIN LEVEL 1940 SQ FT	TIMER INTAKE GRILL & DUCTING (FROM EXTERIOR)
SK	FOUNDATION PLAN AND ROOF FRAMING	UPPER LEVEL 1560 SQ FT TOTAL 4160 SQ FT	MOTORIZED DAMPER ELECTRIC AIR TEMPERING UNIT INTAKE BLOWER
		UNCONDITIONED SPACE LOWER LEVEL 630 SQ FT TOTAL 630 SQ FT	DISTRIBUTION DUCTING (HABITABLE ROOMS) DISTRIBUTION GRILLS (HABITABLE ROOMS) ELECTRIC EXHAUST FAN EXHAUST DUCTING
		LOT COVERAGE RESIDENCE 2326 SQ FT	EXHAUST PORT WITH BACK DRAFT DAMPER
		(E) DECK AREA (UNCOVERED) 247 SQ FT (P) PORCH & STAIR 393.3 SQ FT ATTACHED GARAGE 340 SQ FT	SYSTEM FUNCTION INTAKE BLOWER, AIR TEMPERING UNIT, AND
		ATTACHED GARAGE 340 SQ FT TOTAL 3306.3 SQ FT	EXHAUST FAN TO BE CONNECTED TO TIMER FOR SYNCHRONIZED, INTERMITTENT USE
		LOT AREA 11447 SQ FT	THROUGHOUT EACH DAY. FRESH AIR FROM THE EXTERIOR IS PULLED THROUGH AIR
		19.02.020.F.3.a COVERAGE CALC: FOR LOTS SLOPED 30-50%, MAX 30% LOT COVERAGE (INCLUDING HOUSE, DRIVEWAY, ACCESSORY BUILDINGS) SEE DIAGRAM	TEMPERING UNIT, THEN DISTRIBUTED THROUGH DUCTING TO ALL HABITABLE ROOMS. A BALANCED QUANTITY OF AIR IS SIMULTANEOUSLY EVACUATED FROM THE
		ALLOWABLE COVERAGE (CALC) 3,434.1 SF ALLWBLE BUILDING PAD (SHRT PLAT) 3470 SF PROPOSED COVERAGE 3306.3 SQ FT	INTERIOR W/ THE EXHAUST FAN DUCTED TO EXT
		NET LOT AREA: 11,447-390.3 ACCESS EASEMENT = 11,056.7 SF	
		19.02.020.F.3.b.i MAX HARDSCAPE AREA: 9 % (11,056.7 NET LOT AREA) = 995.1 SF ALLOWED EXISTING (INCLUDING DECKS, GRAVEL, WALKS, PATIOS -NOT BUILDINGS OR DRIVING SURFACES)	
		(E) DECK 247 SQ FT (E) PATIO @ ENTRY 70 SQ FT	
		(E) WALKWAYS, STAIRS & LANDINGS 293 SQ FT (P) STAIR 65.3 SQ FT (E) ROCKERIES 42.8 SQ FT (E) RETAINING WALL 180.6 SQ FT	
		TOTAL 898.7 SQ FT SOFTSCAPE AND DRIVEWAY DRIVE = 1020.2 SQ FT	
		19.02.020.F.3.c LANDSCAPE AREA: MIN 70% (11447) = 8,012.9 SF MIN	
		EXISTING LANDSCAPE = 11,447 SF LOT AREA - 3,867.2 SF COVERAGE = 7579.8 SF (INCLUDES SOFTSCAPE AND HARDSCAPE - NOT INCLUDING DRIVEWAYS)	
		19.02.020.G PARKING REQUIREMENTS: 3 REQUIRED (MIN 2 COVERED) 3 COVERED EXISTING	
		MAX ACCESSORY AREA: MAX 25% OF GROSS FLOOR AREA 25%(4578.8)= 1144.7 SF INCLUDES SOFTSCAPE AND HARDSCAPE - NOT INCLUDING DRIVEWAYS	







LAI 7505 92ND AVE SE MERCER ISLAND WA 98040

ARTISAN + ARCHITECT

206 708 9933 JoshArch.COM

All drawings, specifications, plans, ideas, arrangements, and design solutions represented or referred to are the property of and owned by Josh PS whether the project for which they are made is executed or not. They

were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of Josh PS.

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STATE OF WASHINGTO

DESIGN SJB

DRAWN CEC

CHECKED SJB

DATE [2019-0114 DESIGN]

[2019-0621 PERMIT]

PERMIT

SITE PLAN PROJECT INFORMATION







GENERAL NOTES

1. ALL WORK TO COMPLY WITH '2015 INTERNATIONAL RESIDENTIAL CODE' WITH JURISDICTION AMENDMENTS WHERE APPLICABLE.

2. ALL APPLICABLE CODES, ORDINANCES AND MINIMUM STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWINGS. NOTES AND SPECIFICATIONS.

3. CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.

4. CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND APPLICABLE CODES PRIOR TO PROCEEDING WITH WORK.

5. CONTRACTOR TO VERIFY ALL DIMENSIONS, GRADES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH

6. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF/HERSELF WITH ALL ASPECTS OF THE WORK PRIOR TO CONTRACTING WITH THE OWNER TO PERFORM THE WORK.

7. CONTRACTOR SHALL VERIFY CONFORMANCE OF ACTUAL SOIL CONDITIONS WITH SOILS REPORT AND DESIGN

8. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FOR THE WORK, EXCEPT FOR

THE BUILDING PERMIT WHICH IS THE RESPONSIBILITY OF THE ARCHITECT. 9. CONTRACTOR'S GUARANTEE ON ALL MATERIALS AND WORKMANSHIP TO BE (1) YEAR FROM DATE OF

COMPLETION UNLESS NOTED OTHERWISE IN CONTRACT. 10. REPETITIVE FEATURES MAY BE DRAWN ONLY ONCE, BUT SHALL BE PROVIDED AS IF DRAWN IN FULL.

REPETITIVE NOTES MAY BE CALLED OUT ONLY ONCE AND INDICATED AS TYPICAL (TYP).

11. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE OR CENTERLINE OF INTERIOR COLUMNS UNLESS NOTED OTHERWISE.

12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES IN FRAMING PRIOR TO PROCEEDING WITH WORK.

13. THESE DRAWINGS ARE DESIGN-BUILD IN THE AREAS OF MECHANICAL, ELECTRICAL, AND PLUMBING.

INCLUDING BUT NOT LIMITED TO SUBCONTRACTORS AND ALL STAFF ARE REQUIRED TO BECOME FAMILIAR WITH ALL REGULATIONS REGARDING THE CONSTRUCTION, DEMOLITION, AND RELATED ACTIVITIES FOR THE PROJECT. ANY VIOLATIONS TO APPLICABLE REGULATIONS CAUSED BY THE PARTIES HEREIN SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

14. THE GENERAL CONTRACTOR AND OTHER PARTIES DOING WORK ON BEHALF OF THE GENERAL CONTRACTOR

15. VISIBLE OVERLAPPING MATERIALS SUCH AS FLASHING TO BE LAPPED SUCH THAT SEAM IS NOT FACING STREET OR DOMINANT VIEW.

16. VENTS AND PENETRATIONS TO BE HIDDEN FROM VIEW FROM STREET OR DOMINANT VIEW.

17. THE GENERAL CONTRACTOR IS REQUIRED TO ORGANIZE A MEETING ON SITE WITH THE ARCHITECT AND ACTUAL LABORS INSTALLING SIDING TO CONFIRM LOCATIONS OF EACH SIDING MATERIAL.

JOB SITE SAFETY

1. THE ARCHITECT HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS.

2. PERIODIC SITE VISITS PERFORMED BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION SAFETY PRECAUTIONS.

3. THE ARCHITECT IS NOT RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR OR THE CONTRACTOR'S EMPLOYEES OR EMPLOYEES OF SUPPLIERS OR SUBCONTRACTORS, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON.

1. ALL EXCAVATION AND FILL SHALL BE STORED AND PROTECTED SUCH AS TO PREVENT RUN OFF OF MATERIAL TO ADJACENT PROPERTIES.

2. FOOTING DRAIN TO BE SEPARATE FROM ROOF AND IMPERVIOUS AREA DRAINS.

3. DOWNSPOUT DRAIN TO BE 4" DIAMETER TIGHTLINE UNLESS NOTED OTHERWISE

4. FOOTING DRAIN TO BE 4" DIAMETER PERFORATED PIPE WRAPPED IN GEOTEXTILE FABRIC UNLESS NOTED

5. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIRED SEPTIC AND/OR STORM WATER DETENTION

6. SUBSTANTIAL COMPLETION SHALL BE DEFINED AS A POINT IN WHICH ALL INSPECTIONS ARE APPROVED, AND THE BUILIDNG MAY BE USED FOR ITS INTENDED PURPOSE. THE BUILDER SHALL PRESENT A FINAL APPLICATION FOR PAYMENT TO THE OWNER AT THE POINT OF SUBSTANTIAL COMPLETION, ONCE THE FINAL APPLICATION FOR PAYMENT IS RECEIVED, THE OWNER SHALL PRESENT A PUNCHLIST TO THE GENERAL CONTRACTOR TO FINALIZE ANY MINOR ITEMS THAT MAY NEED REPAIRED, BUILT, ALTERED, OR OTHERWISE ADDRESSED TO BRING THE BUILDING IN CONFORMANCE WITH THE CONSTRUCTION DRAWINGS, CODE REQUIREMENTS, AND ORDINARY STANDARD OF CONSTRUCTION QUALITY. ONCE THE PUNCHLIST IS DELIVERED TO THE BUILDER, THE OWNER ACCEPTS RESPONSIBILITY FOR THE BUILDING AND UTILITIES AND MAY OCCUPY THE BUILDING FOR ITS INTENDED USE ONCE APPROVED BY THE BUILDER. THE WARRENTY PERIOD SHALL BEGIN AT THE TIME THE OWNER OCCUPIES THE BUILDING.

VENTILATION NOTES

1, ALL WORK TO COMPLY WITH THE 2015 IRC CHAPTER 15 WITH JURISDICTION AMENDMENTS.

2. SOURCE SPECIFIC FANS SHALL BE LOCATED IN ALL KITCHENS, BATHROOMS, WATER CLOSETS AND LAUNDRY FACILITIES. VENTILATION CAPACITY SHALL BE AT LEAST 50 C.F.M. FOR BATHROOMS AND LAUNDRY ROOMS (Intermittent use) AND 100 C.F.M. FOR KITCHENS (Intermittent use). DUCTING SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS.

3. WHOLE HOUSE VENTILATION SYSTEM SHALL BE CAPABLE OF .35 AIR EXCHANGES PER HOUR BUT NO MORE THAN .50 AIR EXCHANGES PER HOUR UNDER NORMAL OPERATING CONDITIONS. OUTDOOR AIR SHALL BE PROVIDED TO ALL HABITABLE ROOMS. FAN SHALL HAVE A SONE RATING OF 1.5 OR LESS MEASURED AT 0.1 INCHES WATER GAUGE.

4. DUCT WORK SHALL CONFORM TO TABLE M1508.6.2 AND M1506.1 OF THE '2015 IRC CHAPTER 15' WITH

JURISDICTION AMENDMENTS.

EQUIPMENT COMPLETELY ENCLOSED WITHIN THE BUILDING ENVELOPE 6. PROVIDE A MINIMUM NET AREA OF 1 SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQUARE FEET OF

5. INSULATE DUCTS WITH MIN. R8 INSULATION, ALTHOUGH NO INSULATION IS REQUIRED IF THE DUCTS AND

CRAWLSPACE AREA. PLACE OPENINGS AS NEAR AS TO CORNERS AS PRACTICABLE AND SHALL PROVIDE CROSS VENTILATION.

7. ALL CRAWLSPACE VENTS TO BE PROVIDED WITH 1/4" NON-CORROSIVE WIRE MESH.

8. PROVIDE A MINIMUM NET AREA OF 1 SQUARE FOOT OF VENTILATION AREA FOR EVERY 150 SQUARE FEET OF ATTIC AREA. PROVIDE A CONTINUOUS 1 INCH MINIMUM AIR SPACE ABOVE INSULATION FOR CROSS VENTILATION.ALL ROOFS TO BE CROSS-VENTED U.N.O.

9. ALL ATTIC VENTS TO BE PROVIDED WITH 1/4" NON-CORROSIVE WIRE MESH OR APPROVED SOFFIT VENTS.

10. OUTDOOR AIR INLETS SHALL BE INSTALLED WITHIN EACH HABITABLE SPACE WITH NOT LESS THAN 4 SQUARE INCHES OF INLET AREA EACH WITH SCREENS AND CONTROLLABLE OPENINGS NOT WITHIN 10' OF AN APPLIANCE VENT OR PLUMBING DRAIN VENT OUTLET, NOT WITHIN A ROOM WITH FUEL BURNING APPLICANCES, NOT WITHIN ATTICS, CRAWLSPACES, OR GARAGES AND NOT WITHIN UNSANITARY OR ORDOROUS AREAS PER IRC M1507.3.4.4

11. PER SRC M1501.1 EXHAUST FAN VENTS SHALL TERMINATE OUTDOORS AND NOT IN ATTICS, SOFFITES, RIDGE VENTS, OR CRAWL SPACES. TERMINATIONS TO EXIT THE STRUCTURE WITH CLEARANCES MEETING SRC M1506.3: NOT LESS THATN 3 FEET FROM PROPERTY LINES, 3 FEET FROM OPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES.

MOISTURE PROTECTION

1. PROVIDE PRESSURE TREATED PLATES BETWEEN CONCRETE AND

2. PROVIDE A MINIMUM OF 12" CLEAR BETWEEN WOOD GIRDERS AND EARTH.

3. PROVIDE A MINIMUM OF 18" CLEAR BETWEEN WOOD JOISTS AND EARTH.

4. PROVIDE A MINIMUM OF 8" CLEAR BETWEEN WOOD POSTS AND EARTH.

5. PROVIDE A MINIMUM OF 1" CLEAR BETWEEN WOOD POSTS AND CONCRETE FLOORS.

6. CAULK ALL OPENINGS THOROUGHLY.

7. FLASH ALL OPENINGS WITH A MINIMUM OF 26 GAUGE GALVANIZED STEEL TO ACCEPTABLE INDUSTRY

8. METAL COPING AT PARAPET TO BE A MINIMUM OF 22 GAUGE GALVANIZED STEEL.

9. JOSH RECOMMENDS WET SEAL AND WET FLASH LIQUID APPLIED WEATHERPROOFING IN LIEU OF BUILDING PAPER OR HOUSEWRAP.

1. THE GARAGE SHALL BE SEPERATED FROM THE RESIDENCE AND IT'S ATTIC BY NOT LESS THAN THE FOLLOWING:

- NOT LESS THAN (1) LAYER OF 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED TO ALL GARAGE WALLS. NOT LESS THAN (2) LAYERS OF 5/8" TYPE "X" GYPSUM WALLBOARD AT CEILINGS.

- 1-3/8" MINIMUM THICK, SOLID CORE, OR HONEYCOMB CORE STEEL DOOR, OR A 20-MIN. FIRE-RATED DOOR.

- DUCTS PIERCING FIRE SEPARATION TO BE A MINIMUM OF 26 GAUGE, AND HAVE NO OPENINGS INTO THE GROUP "U" OCCUPANCY.

2. FIRE SEPARATION TO BE HORIZONTAL AND VERTICAL INCLUDING ALL STRUCTURAL MEMBERS SUPPORTING THE

3. ALL ENCLOSED USEABLE SPACE UNDER STAIRWAYS SHALL BE (1) LAYER OF 5/8" TYPE 'X' GYPSUM WALLBOARD ON ENCLOSED SIDE.

4. SMOKE DETECTORS SHALL BE HARD WIRED TO BUILDING POWER AND SHALL HAVE BATTERY BACKUP.

5. SMOKE DETECTORS SHALL BE AUDIBLE IN ALL SLEEPING ROOMS, AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

6. A MINIMUM OF (1) SMOKE DETECTOR SHALL BE INSTALLED ON EACH FLOOR INCLUDING THE GARAGE.

7. FIRESTOPPING AND DRAFTSTOPPING SHALL CONSIST OF 2" NOMINAL LUMBER. 8. FIRESTOPPING AND DRAFTSTOPPING IS REQUIRED IN THE FOLLOWING PLACES:

- CONCEALED SPACES AT ALL FLOOR AND CEILING LEVELS AND AT 10 FOOT INTERVALS ALONG THE LENGTH OF THE WALL.

- INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES (i.e. Soffits)

- CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF THE RUN.

9. ROCK WOOL AROUND ALL OPENINGS FOR VENTS, PIPES, DUCTS, ETC.

10. EMERGENCY EGRESS WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS:

CLEAR OPEN WIDTH 20" (Minimum) CLEAR OPEN HEIGHT 24" (Minimum) CLEAR OPEN AREA 5.7 s.f. (Minimum) SILL HEIGHT 44" (Maximum)

11. PREFABRICATED FIREPLACES SHALL BEAR U.L. OR I.C.B.O. SEAL OF APPROVAL AND SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS.

12. APPLIANCE GENERATING A GLOW, A SPARK, OR FLAME MAY BE INSTALLED IN THE GARAGE PROVIDED THE HEATING ELEMENTS AND SWITCHES ARE 18" ABOVE THE FLOOR.

13. GARAGE FLOOR TO BE CONSTRUCTED OF NON COMBUSTIBLE MATERIAL (CONCRETE).

SHOP DRAWINGS

1. SHOP DRAWINGS ARE REVIEWED FOR DESIGN INTENT ONLY.

2. THE CONTRACTOR IS TO REVIEW AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO ARCHITECT OR STRUCTURAL ENGINEER.

3. SEE STRUCTURAL NOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND CLARIFICATIONS REGARDING SHOP DRAWINGS.

EARTH WORK

1. EXTEND EXCAVATION DOWN TO UNDISTURBED SOIL OF THE SPECIFIED STRENGTH WITH A MINIMUM OF 18" BELOW LOWEST ADJACENT FINISH GRADE.

2. COMPACTED FILL TO BE WELL GRADED AND GRANULAR WITH NOT MORE THAN 5% PASSING A 200 SIEVE. PLACE IN 8" LOOSE LIFTS AND COMPACT TO 95% MODIFIED AASHO DENSITY AT OPTIMUM MOISTURE CONTENT.

3. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

SAFETY AND SECURITY

1. DEADBOLTS WITH A MINIMUM THROW OF 1/2" AND A VIEWPORT ARE REQUIRED AT ALL EXTERIOR DOORS.

2. DEADBOLTS OR APPROVED LOCKING DEVICES ARE REQUIRED ON ALL SLIDING DOORS.

3. ALL LOCKS SHALL BE OPENABLE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT.

4. WINDOWS WITHIN 10'-0" OF FINISHED GRADE SHALL BE PROVIDED WITH LATCHING DEVICES.

5. STAIRWAYS TO MEET THE FOLLOWING REQUIREMENTS: OCCUPANCIES LESS THAN 10

STAIR WIDTH 36" (Minimum) TREAD WIDTH 10" (Minimum), 6" Minimum for Winders RISER HEIGHT 7 3/4" (Maximum)

HEADROOM 80" (Minimum) HANDRAIL HEIGHT 34" to 38" above nosing HANDRAIL GRASP 1-1/4"(Min) to 2" (Max)

6. HANDRAIL INTERMEDIATE MEMBERS SHALL BE CONFIGURED AS TO PROHIBIT PASSING A 4" DIAMETER SPHERE THROUGH ANY OPENING.

7. GUARDRAILS SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR.

8. GUARDRAIL INTERMEDIATE MEMBERS SHALL BE CONFIGURED AS TO PROHIBIT PASSING A 4" DIAMETER SPHERE THROUGH ANY OPENING.

GLAZING NOTES

1. ALL GLAZING TO BE (2) PANE INSULATED GLASS OR BETTER UNLESS NOTED OTHERWISE.

2. SLIDING DOORS TO BE SAFETY GLASS, LAMINATED GLASS, OR TEMPERED GLASS.

3. SHOWER DOORS AND ENCLOSURES TO BE SAFETY GLASS, LAMINATED GLASS, OR TEMPERED GLASS.

4. REFER TO WINDOW SCHEDULE FOR ADDITIONAL REQUIREMENTS.

JOSH RECOMMENDS CARDINAL GLASS W/ COATINGS AS SPECIFIED IN SHOP DRAWINGS.

BATHROOM NOTES

1. WALL COVERINGS IN SHOWERS TO BE MOISTURE RESISTANT MATERIAL TO 72" (Minimum) ABOVE DRAIN INLET.

2. TOILET TO HAVE CLEAR SPACE OF 30" WIDE (Minimum) AND 24" CLEAR (Minimum) IN FRONT OF STOOL

INSPIRATIONAL COMMENTS

1. THIS PROJECT IS NOT A SPEC HOME. WE TAKE A LOT OF PRIDE IN CREATING A SPECIAL BUILDING CUSTOMIZED FOR THIS CLIENT, AND WE HOPE YOU WILL DO THE SAME. LET'S WORK TOGETHER TO DO SOMETHING SPECIAL.

2. ALL WORK IS REQUIRED TO EXCEED YOUR ORDINARY LEVEL OF SATISFACTION. WE ARE EXCITED TO SHOW THIS PROJECT TO OUR FRIENDS AND FAMILY, AND WE HOPE YOU WILL SHARE THAT EXCITEMENT.

3. JUST BECAUSE SOMETHING WAS BUILT A CERTAIN WAY BEFORE, DOES NOT MEAN IT NEEDS TO BE BUILT A CERTAIN WAY NOW. THINK A LITTLE DIFFERENTLY, AND BE CREATIVE. EVERY CIRCUMSTANCE IS DIFFERENT. BUILD UPON YOUR PREVIOUS EXPERIENCES TO DO BETTER AND HONE YOUR SKILLS EVEN MORE. EVERY DETAIL IS A CHANCE TO PUSH YOUR LIMITS.

4. BE WILLING TO LEARN SOMETHING NEW AND TEACH SOMETHING NEW SINCE WE ARE ALL LEARNING AT ALL

	DRAWING LEGEND					
SYMBOL DESCRIPTION		DESCRIPTION	REMARKS			
	2	WINDOW SYMBOL	See Window Schedule			
	A	DOOR SYMBOL	See Door Schedule			
	202	SPACE NUMBER	See Finish Schedule			
	2	GRID LINE				
	A-12	MATCH LINE				
	⊕ 40'-8" T.O. Slab	VERTICAL DATUM POINT				
	Stone Wood	SURFACE MATERIAL CHANGE				
	DWG	DETAIL REFERENCE				
	DWG	SECTION CUT REFERENCE				
	4 SHT 2	INTERIOR ELEVATION REFERENCE	See Interior Elevations			

MATERIAL SYMBOL LEGEND				
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	
	EARTH / COMPACT FILL		ROUGH WOOD FRAMING	
	GRAVEL / POROUS FILL		WOOD BLOCKING	
4 4 4	CONCRETE		PLYWOOD	
	CMU / BRICK / STONE VENEER		FINISH WOOD	
	GYPSUM WALL BOARD / PLASTER		BATT INSULATION	
	STEEL OR OTHER METALS		RIGID INSULATION	
	NATURAL STONE			

ABBREVIATION LIST

ABV AC ACT AFF ALT	ABOVE AIR CONDITIONING ACOUSTICAL TILE ABOVE FINISH FLOOR ALTERNATE	MAX MB MECH MANUF MILP	MAXIMUM MACHINE BOLT MECHANICAL MANUFACTURER MAKE IT LOOK PRETTY
ALUM ARCH	ALUMINUM ARCHITECT/ARCHITECTURAL	MIN MISC MTL	MINIMUM MISCELLANEOUS METAL
BLDG BMAB	BUILDING BUY ME A BEER	N	NORTH
BSMT BTB	BASEMENT BURY THE BODIES	(N) NA NIC	NEW NOT APPLICABLE NOT IN CONTRACT
CAB CL	CABINET CENTER LINE	NOM NTS	NOMINAL NOT TO SCALE
CMU COL CONC	CONCRETE MASONRY UNIT COLUMN CONCRETE	O/ OC OD	OVER ON CENTER OUTSIDE DIAMETER
CONST CONT CPT	CONSTRUCTION CONTINUOUS CARPET	OD (P)	OVERFLOW DRAIN PROPOSED
CRV CSMT	CONTINUOUS RIDGE VENT CASEMENT CUBIC YARD	PERF PERP PL	PERFORATED PERPENDICULAR PROPERTY LINE
1	PENNY	PLAM PLY	PLASTIC LAMINATE PLYWOOD
))	DRYER	PSF	POUNDS PER SQUARE FOOT
D) DAFD DBAB	DEMOLITION DON'T ASK FOR DETAIL DON'T BE A BABY	PSI PT PTD	POUNDS PER SQUARE INCH PRESSURE TREATED PAINTED
DQTA DBL	DON'T QUESTION THE ARCHITECT DOUBLE	QTY	QUANTITY
DCU DIA	DON'T CALL US DIAMETER	R R	RADIUS RISER
D I M DL	DIMENSION DEAD LOAD	RD REF	ROOF DRAIN REFRIGERATOR
NC	DOWN	REINF	REINFORCING
DS DTL	DOWNSPOUT (EXTERIOR) DETAIL	REQ RH	REQUIRED RIGHT HAND
DW DWG	DISHWASHER DRAWING	RM RO RV	ROOM ROUGH OPENING RIDGE VENT
Ε Ε)	EAST EXISTING	S	SOUTH
ÉÁ ELEC	EACH ELECTRIC	SCHED SF	SCHEDULE SQUARE FOOT
ELEV	ELEVATION	SHMTL	SHEET METAL
ENG EQ	ENGINEER EQUAL	SIM SPECS	SIMILAR SPECIFICATIONS
EQUIP EXIST	EQUIPMENT EXISTING	SQ STD	SQUARE STAINED
EXT	EXTERIOR	STL	STEEL
F FIN	FLOOR DRAIN FINISH	STOR STRUCT SYM	STORAGE STRUCTURAL SYMBOL
FLASH FT	FLASHING FOOT/FEET	Т	TREAD
TG	FOOTING	TEL TEMP	TELEPHONE TEMPERED
GA GAL	GAUGE GALLON	TEMP T&G	TEMPERATURE TONGUE AND GROOVE
GALV	GALVANIZED	TO	TOP OF
GFI GLB	GROUND FAULT INTERRUPTER GLU-LAMINATED BEAM	TOP TOS	TOP OF PLATE TOP OF SLAB
GWB GYP	GYPSUM WALL BOARD GYPSUM	TOW TV	TOP OF WALL TELEVISION
HDWD		TW TYP	TRAIN WRECK TYPICAL
HR	HARDWOOD HOUR		
HT HW	HEIGHT HOT WATER TANK	UNO UCS	UNLESS NOTED OTHERWISE USE COMMON SENSE
BC RC	INTERNATIONAL BUILDING CODE INTERNATIONAL RESIDENTIAL CODE	VCT VER	VINYL COMPOSITION TILE VERIFY
D DS	INSIDE DIAMETER	VERT VG	VERTICAL VERTICAL GRAIN
N	INTERIOR DOWNSPOUT INCH		
NSUL NT	INSULATION INTERIOR	W W	WEST WATT
JDI		W W/	WIDTH WITH
	JUST DO IT	W/O	WITHOUT
₋AM ₋B	LAMINATED POUNDS	WD WP	WOOD WATERPROOF
_F _H	LINEAL FOOT LEFT HAND	WR WRB	WATER RESISTANT WEATHER RESISTANT BARRIER
-1 i -L	LIVE LOAD	WT	WEIGHT
		WWJD WWM	WHAT WOULD JOSH DO WELDED WIRE MESH
		YD	YARD

JOSH PS POLICIES

1. DO NOT USE BIFOLD DOORS FOR CLOSETS 2. DO NOT USE MATERIALS WITH WOOD GRAIN UNLESS THE MATERIAL IS WOOD

21. ROOF FASCIAS NOT TO EXCEED 10" IN HEIGHT

2015 INTERNATIONAL MECHANICAL CODE (IMC)

2015 WASHINGTON STATE ENERGY CODE (WSEC)

3. DO NOT USE GLASS BLOCK

4. METAL FABRICATION ONLY TO BE DONE BY GEORGETOWN METALWORKS UNLESS APPROVED OTHERWISE 5. DO NOT USE WHITE WINDOWS UNLESS APPROVED OTHERWISE

6. DO NOT PURCHASE APPLIANCES, DOORS, OR WINDOWS (OR ANY MATERIAL) WITHOUT JOSH APPROVAL 7. DO NOT TEAR DOWN ANY BUILDING OR LANDSCAPING UNLESS APPROVED OTHERWISE

8. DO NOT PUT STRUCTURE (JOISTS/RAFTERS/BEAMS) IN THE CENTER OF A HALL OR ROOM - WE PUT LIGHTING THERE 9. DO NOT USE ELECTROLUX OR FRIGIDAIRE APPLIANCES 10. DO NOT BEGIN CONSTRUCTION UNTIL THE FINAL PLANS HAVE BEEN REVIEWED WITH JOSH ARCHITECTS 11. INSTALL J BOXES FOR AN ELECTRICAL WALK-THROUGH WITH JOSH AND CLIENT PRIOR TO RUNNING WIRES

12. DO NOT LEAVE SPACES LESS THAN 2" BETWEEN TRIM(S) AND OTHER OBJECTS - WE WILL DESIGN WIDER TRIM OR SOME OTHER SOLUTION. 13. DO NOT TALK WITH THE BUILDING DEPARTMENT UNLESS YOU HAVE FIRST CONSULTED WITH JOSH

14. AESTHETICS OR STYLE ARE NOT PART OF OUR DESIGN PROCESS, SO PLEASE BASE DECISIONS ON PRACTICAL SOLUTIONS 15. THE BUILDER IS ENCOURAGED TO WEIGH-IN ON MORE EFFECTIVE AND EFFICIENT CONSTRUCTION METHODS AND SUGGEST BETTER WAYS OF BUILDING TO THE ARCHITECT

16. DIFFERENT MATERIALS MAY NOT BE COPLANAR (FLUSH) 17. BUILDING PAPER (OR HOUSE WRAP) MAY NOT BE EXPOSED FOR LONGER THAN A WEEK, OR IT SHOULD BE REPLACED 18. LIQUID APPLIED WATERPROOFING (PROSOCO OR SIMILAR) IS HIGHLY RECOMMENDED OVER PAPER WEATHER

BARRIERS 19. DO NOT INSTALL SOLAR PANELS UNTIL THE BUILDING HAS FIRST BEEN SUPER-INSULATED AND WRAPPED WITH INSULATION BOARD (REFLECTIVE SIDE FACING INTERIOR) WITH TAPED SEAMS 20. DISCUSS ANY UNCLEAR INFORMATION WITH JOSH AS SOON AS POSSIBLE, BE RESPONSIVE, AND BE A TEAM PLAYER MERCER ISLAND WA 98040

CODES REFERENCED 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 INTERNATIONAL BUILDING CODE (IBC)

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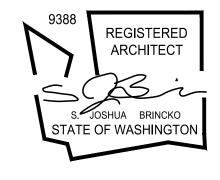
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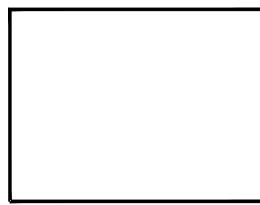
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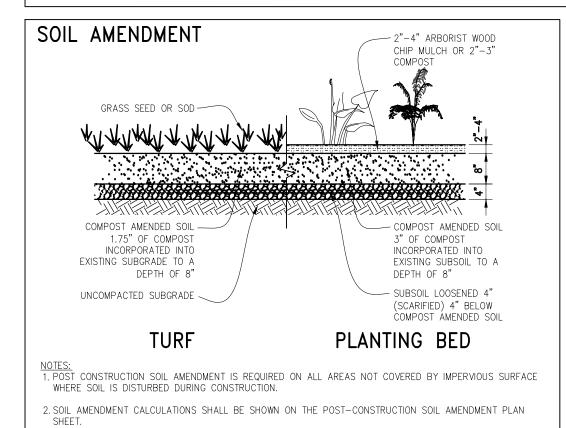
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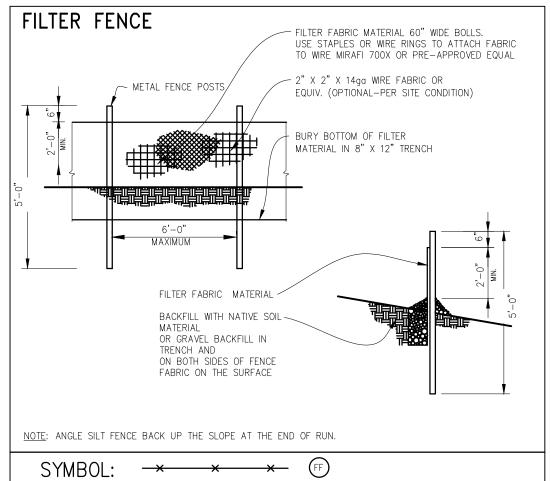
GENERAL NOTES

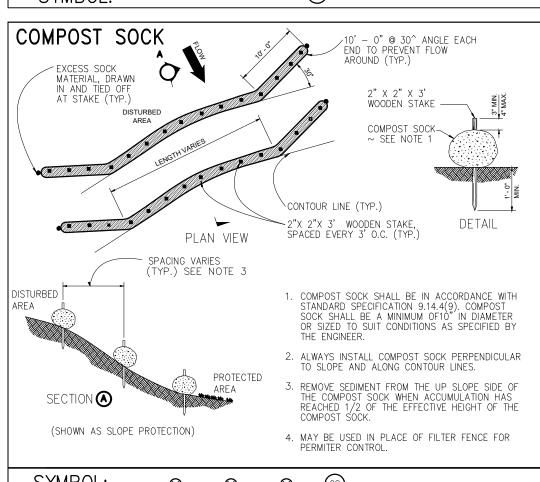
CONSTRUCTION STORMWATER CONTROL STANDARD DETAILS

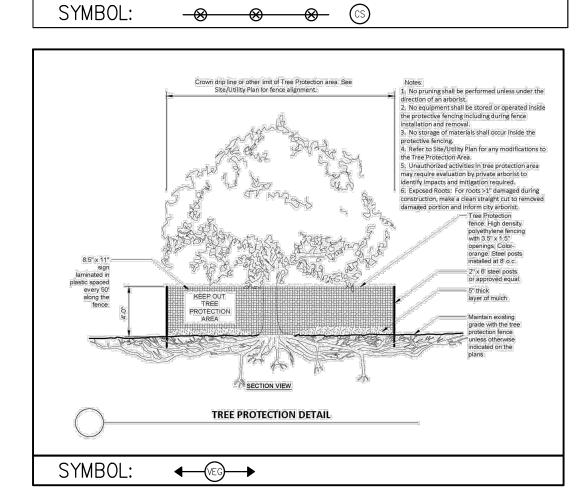


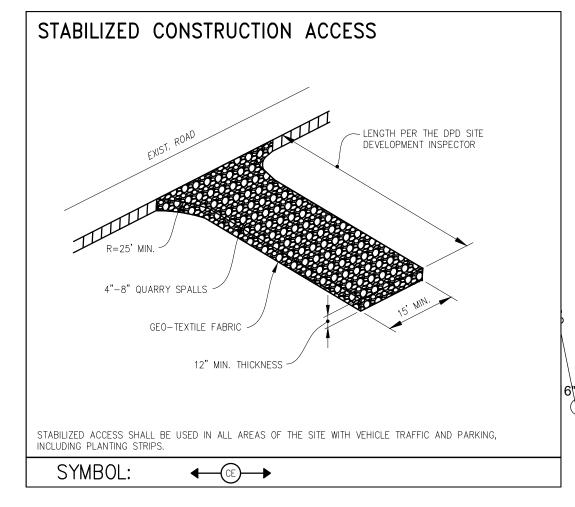
SYMBOL: (T) (P1) (T2) AND/OR (P2)

3. SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.











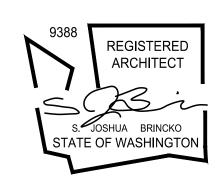


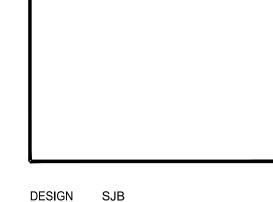
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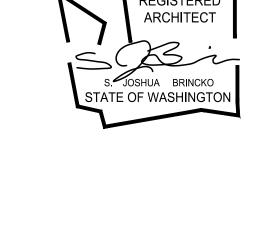
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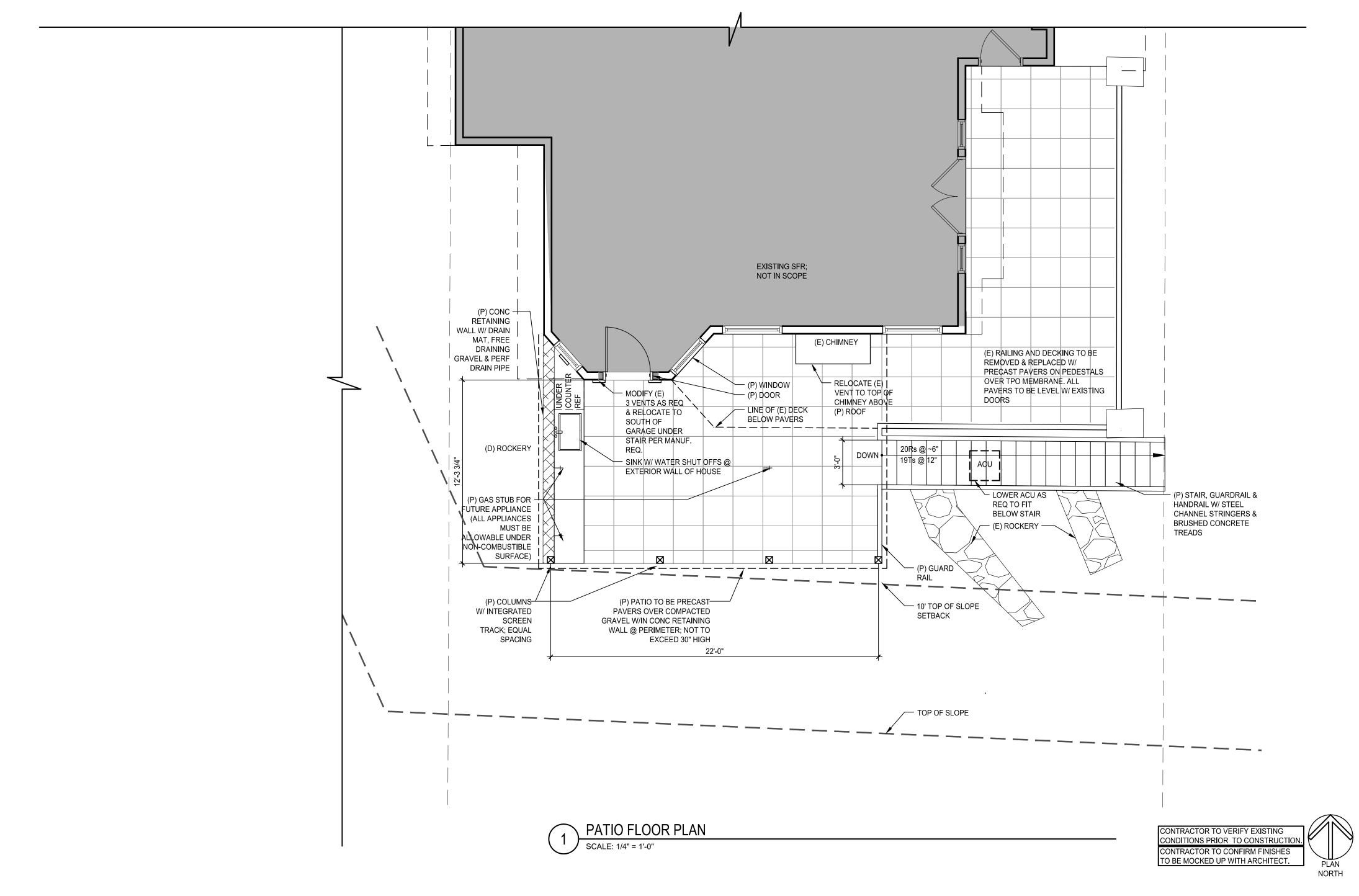
FLOOR PL	AN LEGEND	SEE A-C FC
SYMBOL	DESCRIPTION	REMARKS
$\bigcirc_{(cfm)}$	EXHAUST FAN	See Mechanical Plans
⊙ SA	SMOKE ALARM	See Sheet A-C General Notes Fire Protection Section
	NEW WALL (Line of Studs)	2x studs @ 16" O.C.
E	NEW SOUND WALL	Staggered 2x studs with rock wool sound batts
	EXISTING TO REMAIN	
C===3	EXISTING TO REMOVE	
GENERAL	PROPOSED NO	TES
) SCREENS NSISTENT WITH STYLE C	F EXISTING NS TO MATCH (E) ENTRY

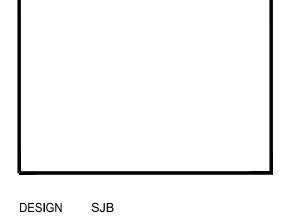
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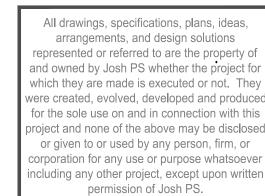
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MAIN FLOOR PLAN



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LAI 7505 92ND AVE SE MERCER ISLAND WA 98040 **PERMIT ELEVATIONS** CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION

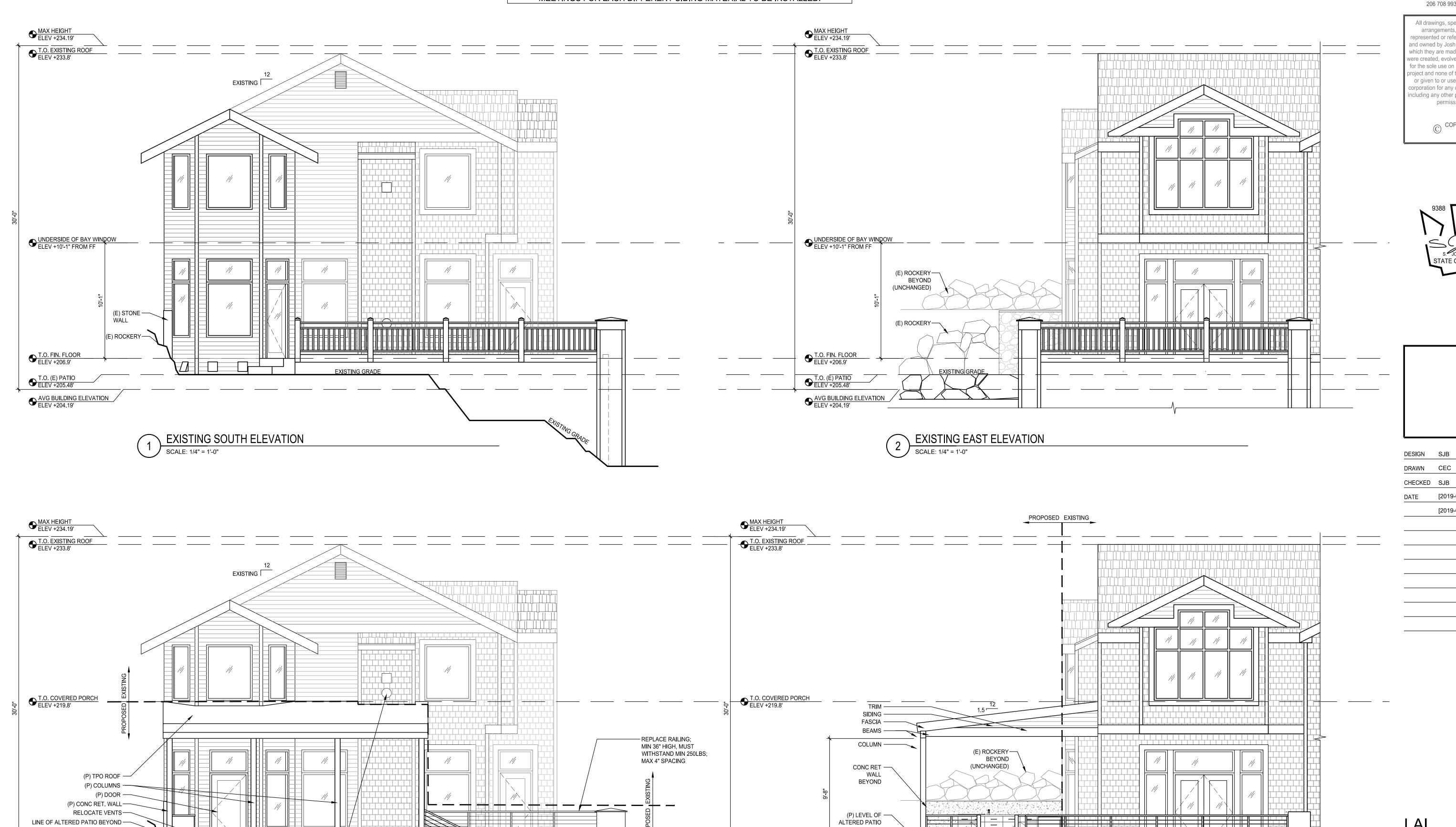
CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.

└─(E) GARAGE; NOT

← (P) HAND & GUARDRAIL MIN 36" HIGH, MUST WITHSTAND MIN 250LBS;

MAX 4" SPACING

SHOWN FOR CLARITY -



NOTE: ALL CUT AND FILL IS WITHIN THE BUILDING FOOTPRINT AND IS LIMITED TO 5 CUBIC YARDS OF CUT AND FILL; GRADE IS UNCHANGED OUTSIDE FOOTPRINT OF PATIO PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

(E) GRADE LINE

FIREPLACE MANUF.

ACU

---- (E) GRADE

(P) CONC PERIMETER—

LINE OF ALTERED PATIO BEYOND —

T.O. FIN. FLOOR STONES
ELEV +206.9'

AVG BUILDING ELEVATION ELEV +204.19'

(E) ROCKERY —

EDGE OF PAVING -

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

(P) CONC -

(E) ROCKERY-(UNCHANGED)

(E) GRADE UNCHANGED

RETAINING WALL

T.O. FIN. FLOOR ELEV +206.9'

AVG BUILDING ELEVATION ELEV +204.19'

— REPAIR COLUMN AS

— EDGE OF PAVERES



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ARCHITECT

S. JOSHUA BRINCKO
STATE OF WASHINGTON

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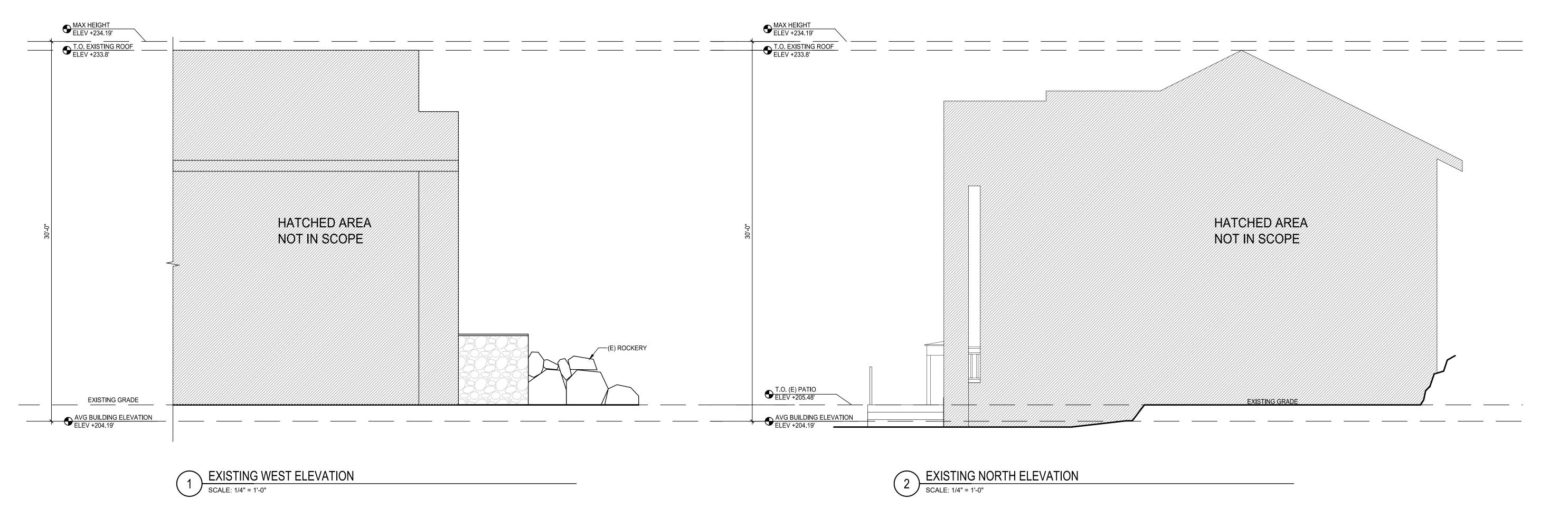
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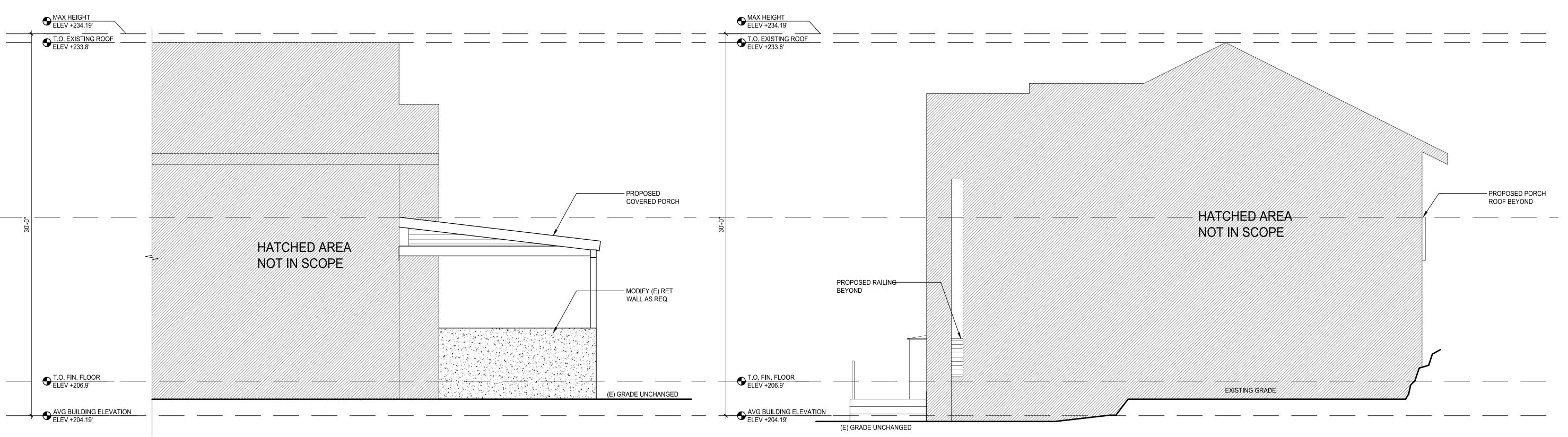
ELEVATIONS

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.

A30



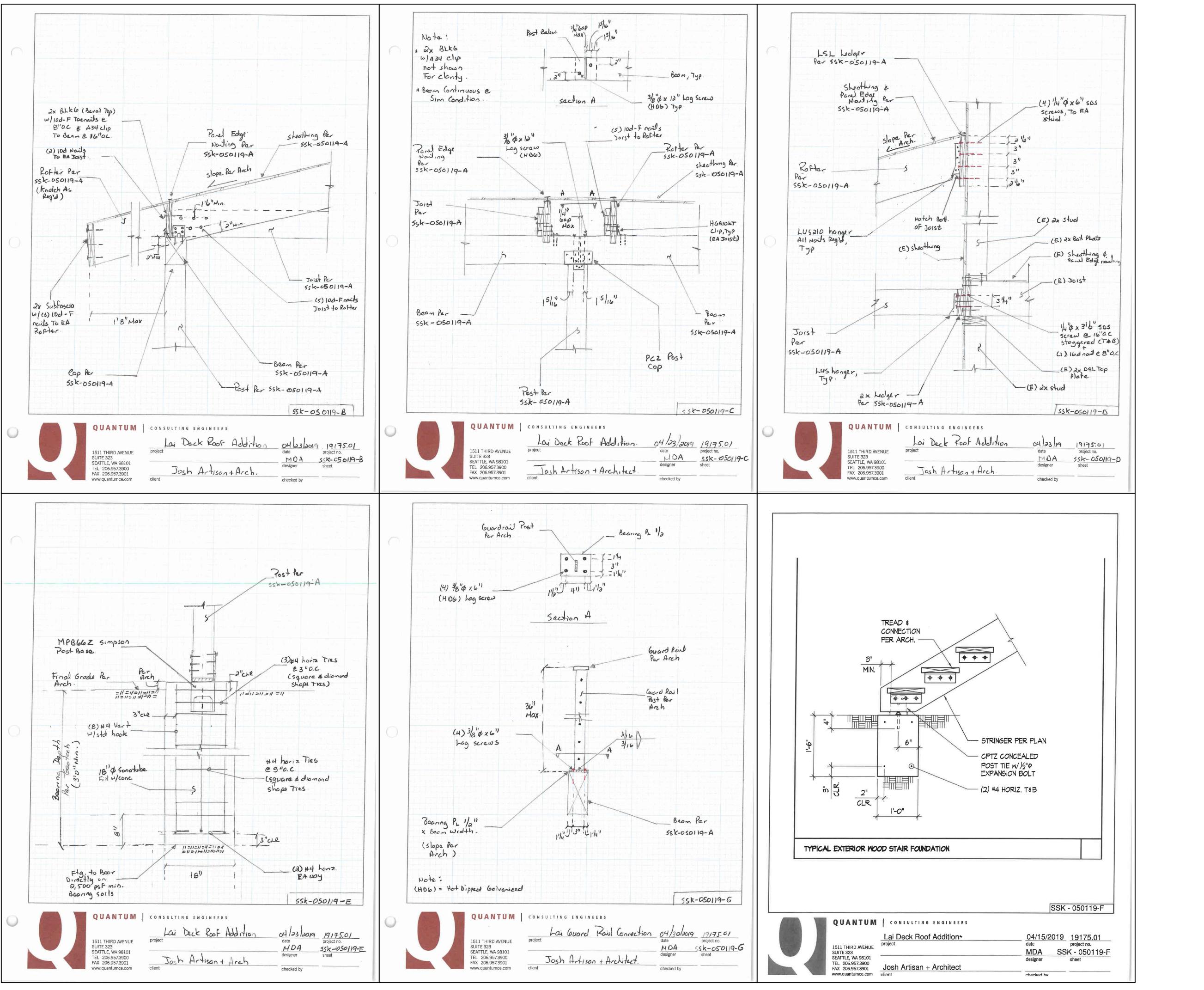


PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

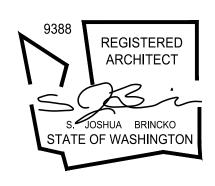


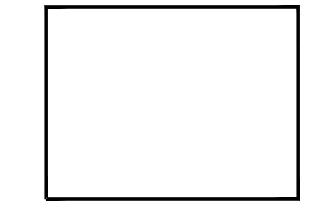
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DETAILS

0.8A

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

- I. <u>ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION</u> SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
- 2. THIS STRUCTURE DOES NOT CONFORM TO PRESENT EARTHQUAKE CODE REQUIREMENTS. IT HAS BEEN ANALYZED AND REINFORCED FOR MINIMUM MAINTENANCE IN ACCORDANCE WITH THE INTERNATIONAL EXISTING BUILDING CODE (IEBC) SECTIONS 402, 403 & 404 AND IS WITHIN THE CURRENT PRACTICE FOR THE RENOVATION OF EXISTING BUILDINGS OF THIS AGE AND TYPE OF CONSTRUCTION. THIS STRUCTURE HAS NOT BEEN ANALYZED OR DESIGNED FOR A COMPLETE SEISMIC UPGRADE.
- 3. <u>DESIGN LOADING CRITERIA</u>

SNOW	. ROOF SNOW LOAD = 25 PSF
	GROUND SNOW LOAD = 20 PSF
	EXPOSURE Ce = 1.00
	IMPORTANCE FACTOR IS = 1.00
	THERMAL FACTOR Ct = 120

WIND ANALYSIS PROCEDURE: ASCE 7-10 CHAPTER 30 "PART V COMPONENTS AND CLADDING-OPEN STRUCTURES"
RISK CATEGORY II
IIO MPH
EXPOSURE "C"
TOPOGRAPHIC FACTOR Kzt = 1.0

ROOFING DESIGN PRESSURE NOT AT A CORNER (MAX.)

. 54 PSF

THE DESIGN WIND PRESSURES LISTED ABOVE ARE INWARD OR OUTWARD AND ARE BASED ON AN EFFECTIVE WIND AREA OF IO SQUARE FEET NEAR A BUILDING CORNER, U.O.N. CORNER AND OTHER ZONES ARE DEFINED BY FIGURE 30.5-I IN ASCE 7-IO. REDUCED DESIGN PRESSURES MAY BE CALCULATED USING ASCE 7. NOTE THAT THE DESIGN WIND PRESSURES NOTED ABOVE ARE ULTIMATE VALUES PER THE 2015 IBC AND SHALL BE MULTIPLIED BY 0.6 FOR ALLOWABLE STRESS DESIGN.

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 4. <u>STRUCTURAL DRAWINGS</u> SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 5. <u>CONTRACTOR</u> SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- 6. <u>CONTRACTOR</u> SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- 7. <u>CONTRACTOR</u> SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THEIR WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 8. <u>CONTRACTOR-INITIATED CHANGES</u> SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 1. <u>DRAWINGS</u> INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. WHERE INFORMATION ON THE DRAWINGS IS IN CONFLICT WITH THE SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. DO NOT SCALE THE DRAWINGS.
- IO. <u>ALL STRUCTURAL SYSTEMS</u> WHICH ARE COMPOSED OF FIELD ERECTED COMPONENTS SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- I. <u>DEFERRED SUBMITTALS OF DESIGN BUILD COMPONENTS</u> SHALL BEAR THE STAMP AND SIGNATURE OF A STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. DEFERRED SUBMITTALS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE AND SHALL INCLUDE DESIGN CALCULATIONS WITH THE ENGINEER'S STAMP.

THE FOLLOWING COMPONENTS SHALL BE DEFERRED SUBMITTALS FOR THIS PROJECT: GUARDRAILS

12. SPECIAL INSPECTION: EXPANSION BOLTS AND THREADED EXPANSION INSERTS, EPOXY GROUTED INSTALLATIONS, SHALL BE SUPERVISED IN ACCORDANCE WITH IBC SECTIONS 1704 & 1705 AND THE PROJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE OWNER. THE TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR AND BUILDING OFFICIAL. ANY MATERIALS WHICH FAIL TO MEET PROJECT SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

GEOTECHNICAL

13. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 36" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND GEOTECHNICAL ENGINEER. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE GEOTECHNICAL REPORT.

GEOTECHNICAL REPORT REFERENCE: #19-056 BY PAN GEO, DATED MARCH 19, 2019

RENOVATION

- 14. <u>DEMOLITION</u>: VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
 - A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE.
 - B. VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
 - C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING, IF POSSIBLE.
 - D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, REBAR DOWELS EPOXIED INTO THE EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING, UNLESS OTHERWISE NOTED ON PLANS.

THE RESULTS OF THE TEST ARE TO BE SUBMITTED TO THE MERCER ISLAND BUILDING DEPARTMENT, ALONG WITH A LETTER FROM THE STRUCTURAL ENGINEER OUTLINING THE PROPOSED ALLOWABLE SHEAR STRESS, FACTOR OF SAFETY AND MAXIMUM ACTUAL ANTICIPATED SHEAR STRESS.

15. <u>CHECK FOR DRYROT</u> AT ALL EXTERIOR WALLS. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

16. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. CONSTRUCTION TOLERANCES SHALL NOT EXCEED THOSE LISTED IN ACI IIT. CONCRETE SHALL ATTAIN A 28 DAY STRENGTH OF I'C = 2,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS (BEFORE THE ADDITION OF ADMIXTURES). THE WATER/CEMENT RATIO SHALL NOT EXCEED 0.55 FOR FOOTINGS AND 0.45 FOR ALL SLABS AND EXPOSED CONCRETE UNLESS OTHERWISE NOTED. EXCEPT FOR FOOTINGS AND SLAB ON GRADE, AGGREGATE SIZE SHALL NOT EXCEED 3/4".

THE MINIMUM AMOUNT OF CEMENT AND THE MAXIMUM SLUMP MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT OF MERCER ISLAND FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. (THE W/C RATIO LIMITS STILL APPLY). THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, CEMENTITIOUS MATERIAL, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 301. CHEMICAL ADMIXTURES AND FLY ASH SHALL CONFORM TO ASTM C494 AND C618 RESPECTIVELY. FLY ASH PERCENTAGE OF TOTAL CEMENTITIOUS MATERIAL SHALL NOT EXCEED 20%. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY TO CONTRACT DOCUMENTS. CONTRACTOR MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR ENTRAINED WITH AN AIR ENTRAINING AGENT CONFORMING TO ASTM C260. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14 TABLE 19.3.3.1. ALL CONCRETE EXPOSED TO THE WEATHER AND ALL GARAGE SLABS-ON-GRADE SHALL OBTAIN A 28-DAY STRENGTH I'C OF 3,000 PSI IN ACCORDANCE WITH ACI 318 TABLE 19.3.2.1 AND IBC SECTION 1904.1. THIS INCREASE IN REQUIRED STRENGTH IS FOR DURABILITY ONLY (SPECIAL INSPECTION IS NOT REQUIRED). ALL CONCRETE TO RECEIVE A STEEL TROWELED FINISH SHALL NOT BE AIR-ENTRAINED.

17. <u>REINFORCING STEEL</u> SHALL CONSIST OF #4 BARS CONFORMING TO ASTM A615, GRADE 40, fy = 40,000 PSI AND SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT 48 BAR DIAMETERS, 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS, LAP 2'-0" MINIMUM. PROVIDE (2) #4 MIN. U.N.O. TRIM BARS AROUND ALL OPENINGS IN CONCRETE WALLS OR SLABS EXTENDING 2'-0" PAST CORNERS, TYPICAL.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. NO REINFORCING BARS SHALL BE "WET-SET" INTO THE CONCRETE. PROVIDE A 20' LONG REBAR GROUND (UFER GROUND) PER ELECTRICIAN.

ANCHORAGE

- 19. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2 WEDGE ANCHOR", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-3037 INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- 20. <u>EPOXY-GROUTED ITEMS</u> (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SHALL BE INSTALLED USING "SET-3G" ADHESIVE ANCHOR AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-4057, INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED.

WOOL

21. FRAMING LUMBER: SHALL BE KILN DRIED OR MC-19 (MOISTURE CONTENT LESS THAN 19%), AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS: (2X, 3X, AND 4X MEMBERS)DOUGLAS FIR NO. 2BEAMS AND STRINGERS: (INCLUDING 6 X AND LARGER MEMBERS)DOUGLAS FIR NO. IPOSTS AND TIMBERS:DOUGLAS FIR NO. ISTUDS, PLATES & MISCELLANEOUS LIGHT FRAMING:DOUGLAS FIR NO. 2(AS NOTED ON PLANS / DETAILS)

22. LAMINATED STRAND LUMBER (LSL) SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, AND THE INDEPENDENT INSPECTION AGENCY'S LOGO. ALL LAMINATED STRAND LUMBER SHALL BE MANUFACTURED USING A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559. MINIMUM STRUCTURAL PROPERTIES ARE AS FOLLOWS:

BEAMS AND LEDGERS: $F_b = 2325 \text{ PSI, E} = 1.55 \times 10^6 \text{ PSI, Fv} = 310 \text{ PSI}$

DESIGN SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE WEYERHAEUSER CORPORATION. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.

23. <u>MOOD SHEATHING</u> SHALL BE APA RATED, EXTERIOR GLUE; EXPOSURE I, IN CONFORMANCE WITH THE REQUIREMENTS FOR THEIR TYPE IN DOC PS-I OR PS-2. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS.

UNLESS OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTSALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE AND GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH (2) IOd-F NAILS AT EACH END, UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PANEL EDGES AND NAIL WITH EDGE NAILING SPACED PER PLANS. WHERE NOT NOTED OTHERWISE. NAIL PANEL EDGES WITH 8d NAILS @ 6" O.C. EDGES. 12" O.C. IN THE FIELD.

- 24. <u>ALL WOOD</u> EXPOSED TO WEATHER, OR BEARING ON UNPROTECTED CONCRETE BELOW GRADE, OR BEARING ON UNPROTECTED CONCRETE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE TREATED, U.O.N. PRESSURE TREATMENT SHALL BE WITH AN APPROVED PRESERVATIVE AND BRANDED WITH A QUALITY CONTROL AGENCY MARK BY THE AMERICAN WOOD PRESERVERS BUREAU OR EQUAL. ALL METAL HARDWARE IN CONTACT WITH TREATED WOOD SHALL BE PROTECTED WITH A GI85 GALVANIZED COATING (ZMAX) OR BETTER. ALL NAILS IN TREATED WOOD SHALL BE HOT-DIP GALVANIZED OR BETTER. PROVIDE 2 LAYERS OF 30# ASPHALT IMPREGNATED BUILDING PAPER BETWEEN NON-PRESSURE-TREATED LEDGERS, BLOCKING, ETC., AND CONCRETE
- 25. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NO. C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A301. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL BOLTS TIGHTENED TO SNUG TIGHT.



1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL 206.957.3900 FAX 206.957.3901 www.quantumce.com

SEAL:



PROJECT:

LAI DECK ROOF ADDITION

7505 92ND AVE SE MERCER ISLAND WA 98040

APPROVAL:

PERMIT SET 5/1/19 DESCRIPTION DATE BY REVISIONS: / ISSUES: (MDA P.E. JHW DRAWN BY: TTH SCALE: AS SHOWN DATE: TTH JOB NO. 19175.01

GENERAL STRUCTURAL NOTES

SHEET NO.

SHEET TITLE:

S1.0

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

MOOD CONTINUED

26. WOOD FASTENERS:

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

Drawing ID Nail Name Nail Diameter Nail Length
"6d" 6d Common O.113" 2"
"8d Box" 8d Box O.113" 2-1/2"
"8d" 8d Common O.131" 2-1/2"
"10d-F" 10d Framer O.131" 3"
"10d" 10d Shear O.148" 2-1/4"
"16d" 16d Sinker O.148" 3-1/4"
IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS
TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

- B. <u>NAILS</u> SHEATHING FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.
- C. <u>SCREMS</u> SHALL BE MOOD SCREMS OF THE DIAMETER AND LENGTH NOTED ON THE DRAWINGS. SDS FASTENERS ARE SIMPSON STRONG DRIVE SCREMS.
- D. <u>HOT DIPPED GALVANIZED NAILS, BOLTS AND METAL PLATES</u> ALL NAILS, BOLTS AND METAL PLATES IN CONTACT WITH PRESSURE TREATED (INCLUDING FIRE-RETARDANT TREATED) LUMBER SHALL BE HOT DIPPED GALVANIZED.
- 27. WOOD FRAMING NOTES: THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
 - A. ALL <u>MOOD FRAMING DETAILS</u> NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.IO.I. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. TIGHTEN BOLTS AND LAG SCREWS SNUGLY AGAINST WOOD FRAMING AFTER WOOD HAS REACHED SPECIFIED MOISTURE CONTENT.
 - B. <u>ROOF FRAMING</u>: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH IOD-F NAILS @ 8" O.C. STAGGERED UNLESS OTHERWISE NOTED.
 - C. <u>POSITIVE CONNECTIONS</u>: PROVIDE THE FOLLOWING SIMPSON CONNECTORS AT TYPICAL FRAMING UNLESS OTHERWISE NOTED ON PLAN OR DETAIL. PROVIDE CCQ/ECCQ CAPS AND PBS BASES AT POSTS. PROVIDE BC BASE WHERE POST BEARS ON WOOD FRAMING BELOW. PROVIDE LUS SERIES HANGERS FOR 2X FLOOR AND ROOF JOISTS. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. All CONNECTORS EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH PRESSURE TREATED WOOD, SHALL BE HOT DIPPED GALVANIZED.

ABBREVIATIONS					
@	At		L	Angle	
d Ø	Penny (Nails) Diameter		LL LLH	Live Load Long Leg Horizontal	
7	Diamour		LLV	Long Leg Vertical	
A.B.	Anchor Bolt		LONGIT.	Longitudinal	
ADD'L	Additional		LT. MT.	Lightweight	
ALT. APPROX	Alternate K. Approximate		MATL.	Material	
ARCH.	Architect		MAX.	Maximum	
			MECH.	Mechanical	
B.U.	Built-up		MEZZ	Mezzanine	
B/ BF	Bottom of Braced Frame		MF MFR.	Moment Frame Manufacturer	
BLKG.	Blocking		MIN.	Minimum	
BLDG.	Building		MISC.	Miscellaneous	
BM.	Beam		MK.	Mark	
BOT. BRG.	Bottom Bearing		N.	North	
BTWN.	Between		N.S.	Near Side	
	- I II		NIC	Not in Contract	
Q ()	Centerline Camber		NO. NOM.	Number Nominal	
CTOC	Center to Center		NTS	Not to Scale	
CIP	Cast In Place				
C.J.	Construction Joint or Control Joint		0.0.	On Center	
CLG. CLR.	Ceiling Clear		O.D. O.F.	Outside Diameter Outside Face	
CMU	Concrete Masonry Unit		O.H.	Opposite Hand	
CNTR.	Center		OPNG.	Opening	
COL. CONC.	Column Concrete		OPP.	Opposite	
CONU.	Connections		PAF	Powder Actuated Fastener	
CONST.	Construction		PC	Precast	
CONT.	Continuous		PERM.	Permanent	
CJP CSK.	Complete Joint Penetration Countersink		PERP. PL or FL	Perpendicular Plate	
JJ13.	OUUITE IGUI IN		PLF	Pounds per linear Foot	
DBA.	Deformed Bar Anchor		PLYMD	' Plywood	
DBL. DEG.	Double		PJP PDEE AR	Partial Joint Penetration	
DET.	Degree Detail		PREFAB. PROJ.	Prefabricated Project	
DF	Doug Fir-Larch		PSF	Pounds per Square Foot	
DIA.	Diameter		PSI	Pounds per Square Inch	
DIAG. DIAPH.	Diagonal Diaphragm		P.T. P/T	Post-Tensioning Pressure-Treated	
DIM.	Dimension		171	11033010 1100100	
DN.	Down		RAD.	Radius	
DO DWG.	Ditto Drawing		REF. REINF.	Reference Reinforce or Reinforcement	
DNO.	Drawing		REQD.	Required	
(E)	Existing		REV.	Revise	
E. EA.	East Each		R.O.	Rough Opening	
E.F.	Each Face		S.	South	
EL.	Elevation		SCH. or SCHE		
ELEV.	Elevator		SECT.	Section	
EMBED. ENGR.	Embedment Length Engineer		SHT. SIM.	Sheet Similar	
E.M.	Each Way		506	Slab On Grade	
EXP.	Expansion		SPEC.	Specification	
EXT.	Exterior		SQ. SQ. FT.	Square Square East	
FDN.	Foundation		5Q. IN.	Square Feet Square Inch (inches)	
FIN.	Finish		STD.	Standard	
FLR.	Floor		STIFF.	Stiffener	
FRP F.S.	Fiber Reinforced Polymer Far Side		STL. STR.	Steel Structural	
FT.	Foot or Feet		SUB.	Substitute	
FTG.	Footing		SYM.	Symmetrical	
GA.	Gauge		T/	Top of	
GALV.	Galvanized		T&B	Top and Bottom	
GL	Glue Laminated		T\$6	Tongue & Groove	
GRD.	Grade		THRU	Through	
GNB	Gypsum Wall Board		TEMP. T.O.C.	Temporary Top of Concrete	
HF	Hem Fir		T.O.S.	Top of Steel	
HGR.	Hanger		T.O.W.	Top of Wall	
HORIZ. HSS	Horizontal Hollow Structural Section		TRANS. TS	Transverse Tube Steel	
HT.	Height		TYP.	Typical	
15			11011 1110		
I.D. I.F.	Inside Diameter Inside Face		UON or UNO	Unless Otherwise Noted	
IN.	Inside i dee		VERT.	Vertical	
INFO.	Information		VIF	Verify in Field	
INT.	Interior		M	- 	
JT.	Joint		W. W/orw/	West With	
	الا الا		MD	Wood	
KSF	Kips per Square Foot		W.H.S.	Welded Headed Stud	
KSI	Kips per Square Inch		W/O WP	Without Work Point	
			W.T.S.	Welded Threaded Stud	
			MMF	Welded Wire Fabric	
			X SECT.	Cross Section	
			X-STR	Extra Strong	
				ر	



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SEAL:

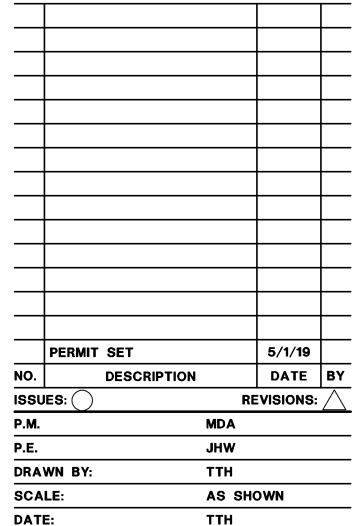


PROJECT:

LAI DECK ROOF ADDITION

7505 92ND AVE SE MERCER ISLAND WA 98040

APPROVAL:



GENERAL STRUCTURAL NOTES & ABBREVIATIONS

19175.01

SHEET NO.

JOB NO.

SHEET TITLE:

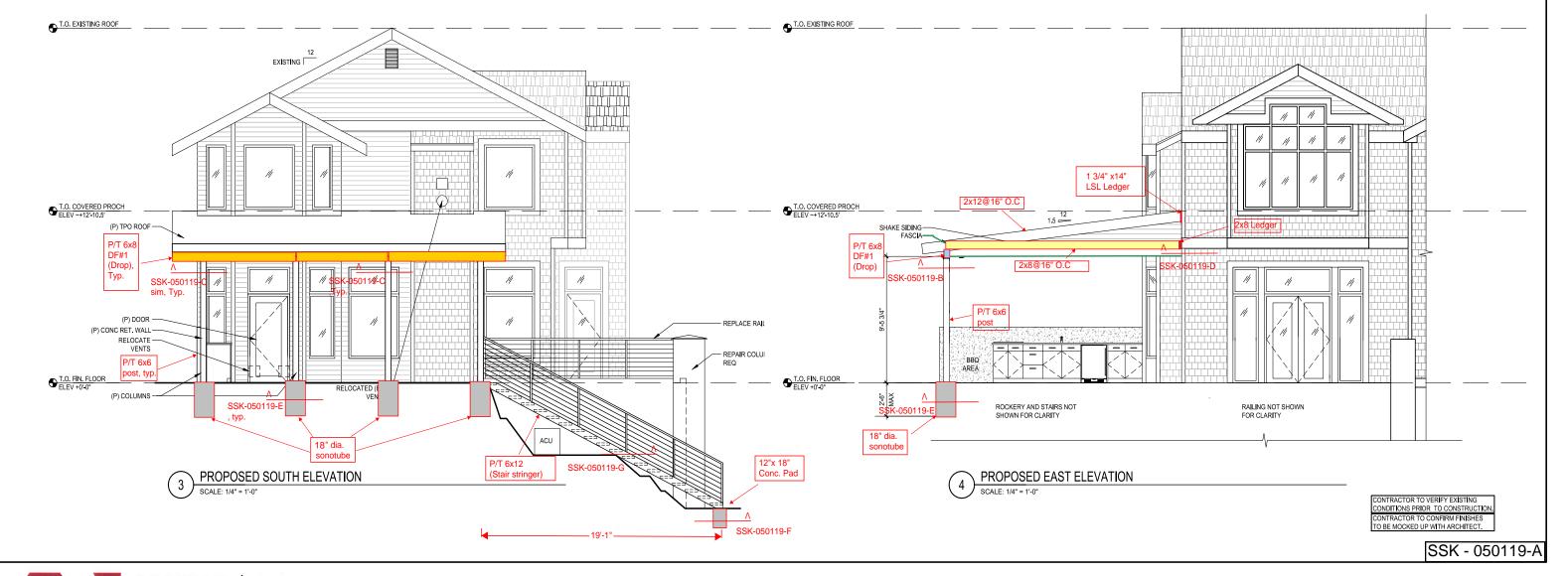
S1.1

FOUNDATION PLAN NOTES:

- ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL PLANS ARE FOR GENERAL INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND MANUFACTURER'S DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER IMMEDIATELY.
- 2. ALL EXISTING INFORMATION IS ASSUMED AND SHALL BE FIELD VERIFIED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER IMMEDIATELY.
- 3. THE GEOTECHNICAL ENGINEER SHALL REVIEW THE FOUNDATION PLAN BEFORE CONSTRUCTION TO VERIFY COMPLIANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE BEFORE REINFORCEMENT PLACEMENT TO VERIFY THE SOIL CONDITION.
- 4. FOR STRUCTURAL GENERAL NOTES AND ABBREVIATIONS SEE SHEETS SI.O TO SI.I.
- FOR TYPICAL CONCRETE FOUNDATION DETAILS SEE SSK-042319-D

ROOF FRAMING NOTES:

- SEE SHEETS SI.O AND SI.I FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS.
- 2. TYPICAL ROOF JOIST SHALL BE 2x12 DF#2 @ 24" O.C., U.O.N. HANG JOISTS WITH LSSU FACE MOUNT HANGERS TYPICAL AT
- 3. NAIL ROOF SHEATHING TO FRAMING WITH 8d NAILS (0.131" $\!\phi \times 2.5\!$ " LONG) AT 6" O.C. AT ALL PANELS EDGES AND 8d NAILS AT 12" O.C. AT INTERMEDIATE FRAMING MEMBERS (UNBLOCKED).
- 4. PROVIDE SOLID BLOCKING BETWEEN EACH ROOF JOIST AT SUPPORTS. PROVIDE AN HGAIOKT CLIPAT EVERY MEMBER TO BEAM





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Lai Deck Roof Addition project

Josh Artisan + Architect

05/01/2019 19175.01

project no. MDA SSK - 050119-A

designer sheet

checked by